

FEE \$ 10-  
 TCP \$ 181-  
 SIF \$ 292-  
4483<sup>00</sup>



**PLANNING CLEARANCE**  
 (Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG PERMIT NO. 13368



Your Bridge to a Better Community

BLDG ADDRESS 2809 Ridge ~~View~~ Dr. SQ. FT. OF PROPOSED BLDGS/ADDITION 2039+550  
 TAX SCHEDULE NO. 2943-063-18-016 SQ. FT. OF EXISTING BLDGS 0  
 SUBDIVISION Grand View filing #3 TOTAL SQ. FT. OF EXISTING & PROPOSED 2589  
 FILING 3 BLK 1 LOT 10 NO. OF DWELLING UNITS:  
 Before: 0 After: 1 this Construction  
 (1) OWNER HAASE & ASSOCIATES, Inc NO. OF BUILDINGS ON PARCEL  
 Before: 0 After: 1 this Construction  
 (1) ADDRESS 563 Village Way USE OF EXISTING BUILDINGS \_\_\_\_\_  
 (1) TELEPHONE 242-8681 260-7766 DESCRIPTION OF WORK & INTENDED USE NEW HOME  
 (2) APPLICANT Dan Haase TYPE OF HOME PROPOSED:  
 (2) ADDRESS 563 Village Way  Site Built \_\_\_\_\_ Manufactured Home (UBC)  
 \_\_\_\_\_ Manufactured Home (HUD)  
 (2) TELEPHONE 242-8681 \_\_\_\_\_ Other (please specify) \_\_\_\_\_

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-5 Maximum coverage of lot by structures \_\_\_\_\_  
 SETBACKS: Front 20 from property line (PL) Permanent Foundation Required: YES \_\_\_\_\_ NO \_\_\_\_\_  
 or \_\_\_\_\_ from center of ROW, whichever is greater  
 Side 5 from PL, Rear 25 from PL Parking Req'mt \_\_\_\_\_  
 Maximum Height 32' Special Conditions \_\_\_\_\_  
 CENSUS 10 TRAFFIC 22 ANNEX# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 12/29/99  
 Department Approval [Signature] Date 12/30/99

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>12755</u>
Utility Accounting	<u>[Signature]</u>		Date <u>12/30/99</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

90'

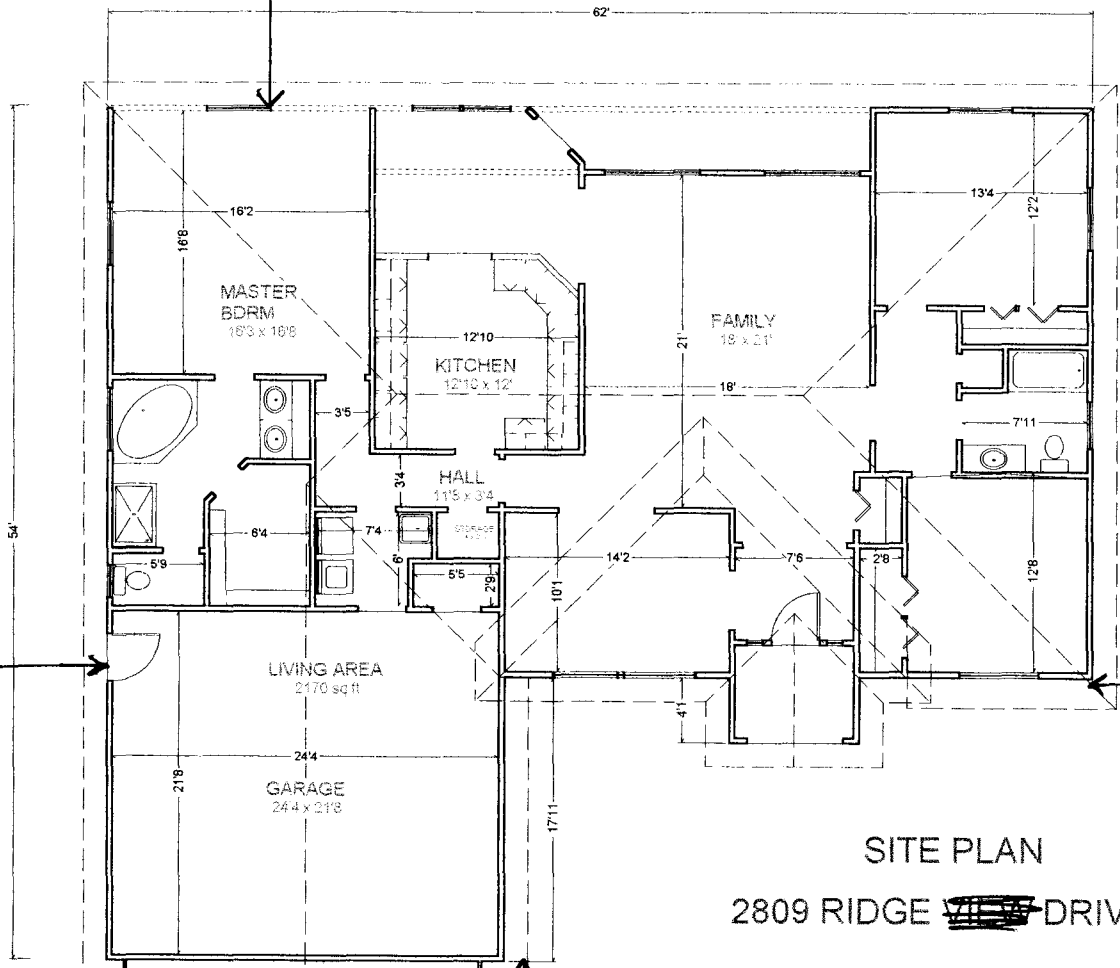
*1/18/99 Dragon 2/30/99*

ACCEPTED  
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

*10' Irrigation & Utility EASEMENT*

*110'*

*110'*



SITE PLAN

2809 RIDGE ~~VIEW~~ DRIVE

HAASE & ASSOCIATES INC.  
563 VILLAGE WAY  
GRAND JUNCTION, CO 81503

*14' MULTI PURPOSE EASEMENT*

90'

*Done by [Signature] 12-29-99*