

FEE \$	10 ⁻
TCP \$	0
SIF \$	292 ⁻

302⁻



BLDG PERMIT NO. 69184

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

(Handwritten initials)

BLDG ADDRESS 2137 Red Cliff Circle TAX SCHEDULE NO. 2947-352-20-009
 SUBDIVISION CANTON VIEW SUB SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2320 sqft
 FILING 6 BLK 3 LOT 6 SQ. FT. OF EXISTING BLDG(S) 0
 (1) OWNER DAVE WEHL NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) ADDRESS 2126 Broadway 81503 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION
 (1) TELEPHONE 241-3319 USE OF EXISTING BLDGS N/A
 (2) APPLICANT DAVE WEHL DESCRIPTION OF WORK AND INTENDED USE: _____
 (2) ADDRESS SAME
 (2) TELEPHONE _____ NEW HOME

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR2 Maximum coverage of lot by structures _____
 SETBACKS: Front 25' front from property line (PL) Parking Req'mt _____
 or _____ from center of ROW, whichever is greater Special Conditions _____
 Side 15 from PL Rear 20' from PL
 Maximum Height _____
 CENSUS 1401 TRAFFIC 64 ANNEX# _____

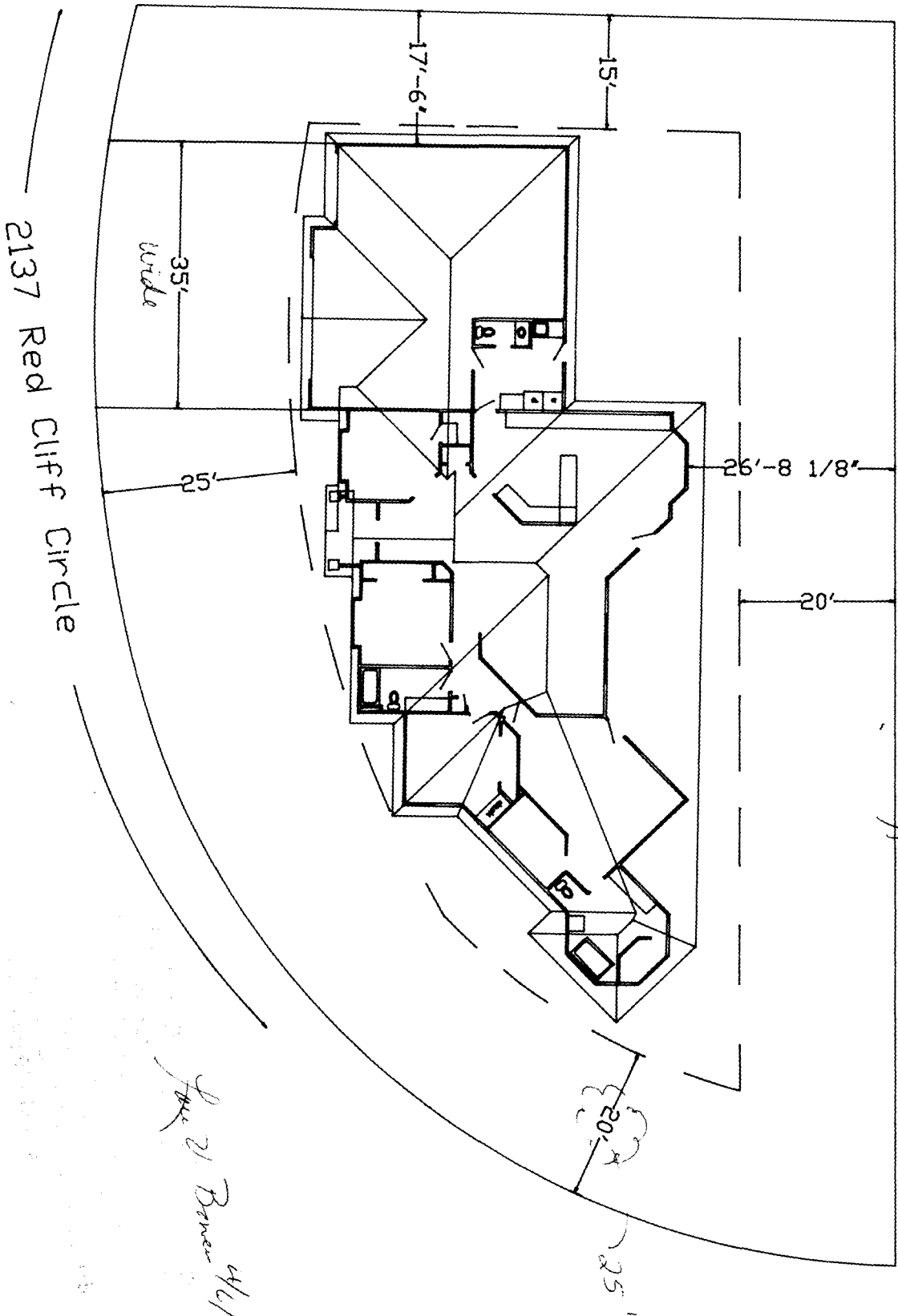
Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date April 6 1999
 Department Approval [Signature] Date April 6, 1999
 Additional water and/or sewer tap fee(s) are required: YES NO W/O No. #12094
 Utility Accounting [Signature] Date 4-6-99

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



*Printed Room
 2-22-99
 2-22-99*

John R. Brown 4/6/99