

FEE \$	10.00
TCP \$	
SIF \$	292.00



BLDG PERMIT NO. 70851

EX

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Community Development Department

BLDG ADDRESS 414 WILLOW RIDGE CT. TAX SCHEDULE NO. 2945-164-28-007
GRAND JUNCTION, CO 81503 1683 - HOUSE

SUBDIVISION WILLOW RIDGE SQ. FT. OF PROPOSED BLDG(S)/ADDITION 577 - ATT. GARAGE

FILING BLK --- LOT 07 SQ. FT. OF EXISTING BLDG(S) 0

(1) OWNER WILLOW RIDGE HOMES, INC NO. OF DWELLING UNITS
 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) ADDRESS 416 WILLOW RIDGE CT. NO. OF BLDGS ON PARCEL
GRAND JUNCTION, CO 81503 BEFORE: 0 AFTER: 1 THIS CONSTRUCTION

(1) TELEPHONE 970-255-0042 81503

(2) APPLICANT KENNY DIAZ USE OF EXISTING BLDGS ---

(2) ADDRESS 57 LITTLE ECHO DR. DESCRIPTION OF WORK AND INTENDED USE: NEW
PARACHUTE, CO 81635

(2) TELEPHONE 970-285-7121 SINGLE FAMILY HOME

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PR-3.1 Maximum coverage of lot by structures _____

SETBACKS: Front 15' / 20' Garage from property line (PL) Parking Req'mt _____
 or _____ from center of ROW, whichever is greater

Special Conditions _____

Side 0' + 10' from PL Rear 25' from PL

Maximum Height 32'

CENSUS 1401 TRAFFIC 93 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Kenny Diaz WILLOW RIDGE HOMES, INC. Date 6-21-99

Department Approval Bill Neth Date 6-22-99

Additional water and/or sewer tap fee(s) are required: YES NO _____ W/O No. 12367

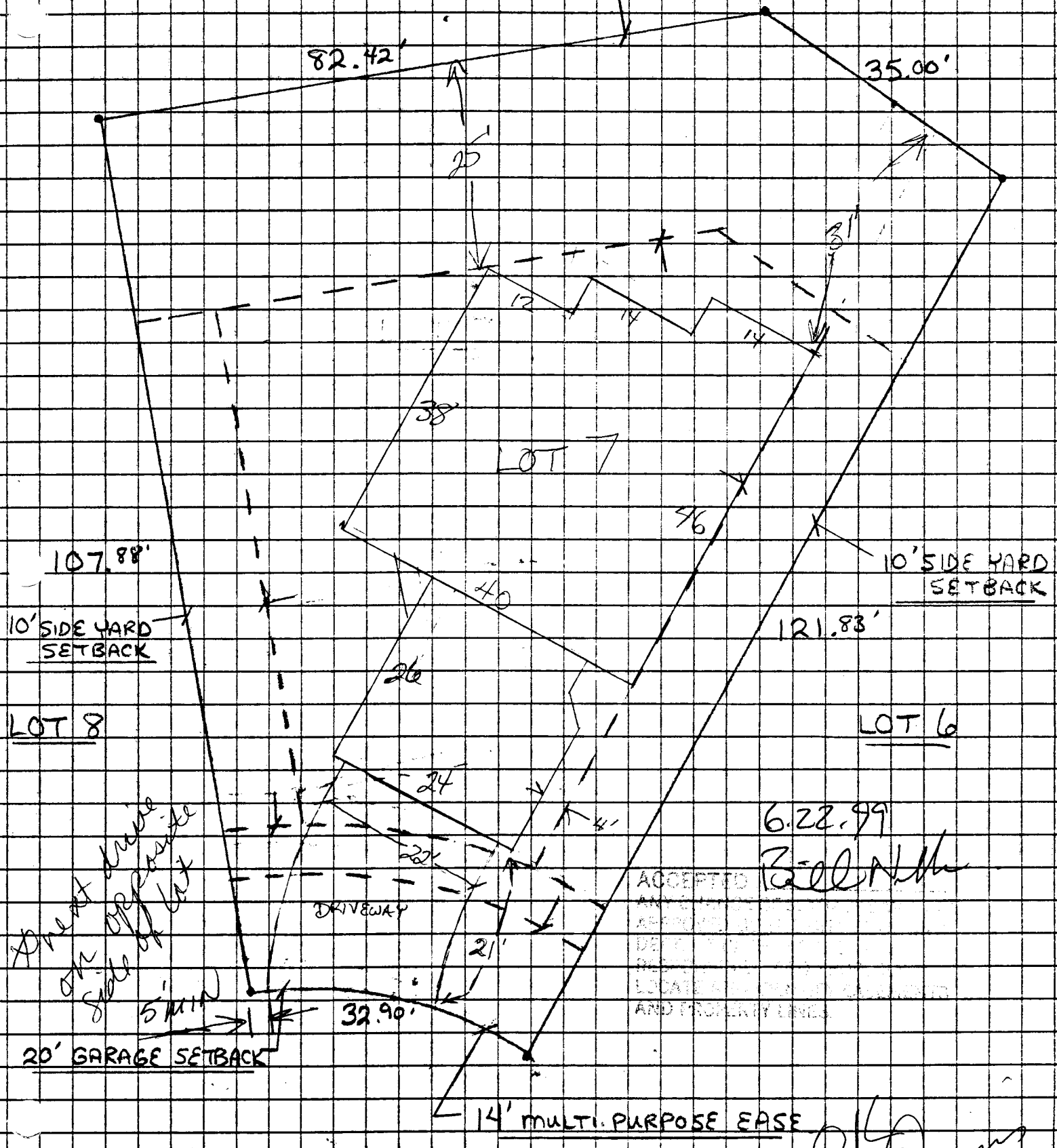
Utility Accounting Nobi Overholt Date 6-22-99

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

414 WILLOW RIDGE Ct.
2945-1681-28-007

25' REAR YARD SETBACK



Driveway
on opposite
side of lot

6.22.99
[Signature]
6.22.99