

FEE \$	10.00
TCP \$	0
SIF \$	292.00



BLDG PERMIT NO. 70854

**PLANNING CLEARANCE**  
(Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG ADDRESS 416 WILLOW RIDGE CT., GRAND JUNCTION, CO 81503 TAX SCHEDULE NO. 2945-164-28-008  
 SUBDIVISION WILLOW RIDGE SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1683 HOUSE 597-ATT. GARAGE  
 FILING BLK      LOT 08 SQ. FT. OF EXISTING BLDG(S) 0  
 (1) OWNER WILLOW RIDGE HOMES, INC NO. OF DWELLING UNITS BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
 (1) ADDRESS 416 WILLOW RIDGE CT., GRAND JUNCTION CO, 81503 NO. OF BLDGS ON PARCEL BEFORE: 0 AFTER: 1 THIS CONSTRUCTION  
 (1) TELEPHONE 970-255-0042  
 (2) APPLICANT KENNY DITZ USE OF EXISTING BLDGS       
 (2) ADDRESS 57 LITTLE ECHO DR., PARACHUTE, CO 81635 DESCRIPTION OF WORK AND INTENDED USE: NEW  
 (2) TELEPHONE 970-285-7121 SINGLE FAMILY HOME

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PR-3.1 Maximum coverage of lot by structures       
 SETBACKS: Front 15'/20'-Garage from property line (PL) Parking Req'mt       
 or      from center of ROW, whichever is greater Special Conditions       
 Side 0'+10' from PL, Rear 25' from PL  
 Maximum Height 32'  
 CENSUS 1401 TRAFFIC 93 ANN#     

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Kenny Ditz WILLOW RIDGE HOMES, INC. Date 6-21-99  
 Department Approval Bill Nell Date 6-22-99

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 12366

Utility Accounting Debi Overholt Date 6-22-99

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

4116 WILLOW RIDGE C<sub>2</sub>

2945-164-28-008

25' REAR YARD SETBACK

90.00'

6-22-99

Bill Nuhn

25'

EXISTING BUILDING PLACEMENTS AND UTILITY LINES

LOT 8

10' SIDE YARD SETBACK

103.32'

107.88'

LOT 7

10' SIDE YARD SETBACK

20' GARAGE SETBACK

50.00'

48.07'

Open Space

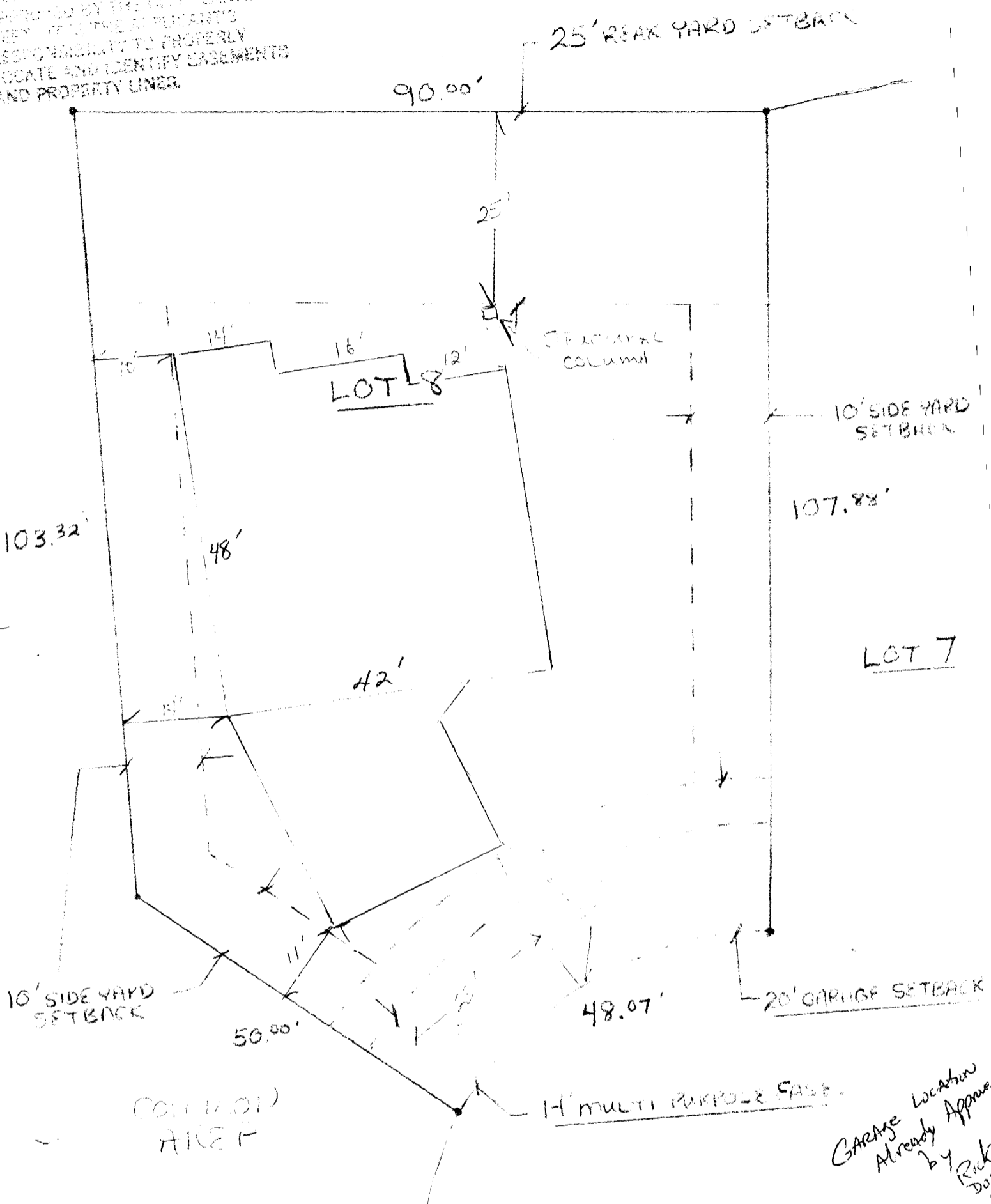
5 MIN

22' DRIVEWAY

14' MULTI-PURPOSE EASE.

Bill Nuhn  
6-22-99

ACCEPTED *RdV* 9/18/99  
ANY CHANGE OF ESTABLISHMENTS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.



GARAGE Location  
Already Approved  
By Rick  
Dorn  
6/1