

FEE \$	10.00
TCP \$	500.00
SIF \$	NA

BLDG PERMIT NO. 72459



**PLANNING CLEARANCE**

(Single Family Residential and Accessory Structures)

**Community Development Department**

*Put under both*  
*668-28 Rd -*  
*EX*

BLDG ADDRESS (670 Windstar) TAX SCHEDULE NO. 2943-062-00-047  
 SUBDIVISION Northstar Filing 2 SQ. FT. OF PROPOSED BLDG(S)/ADDITION 1576  
 FILING 2 BLK 2 LOT 17 SQ. FT. OF EXISTING BLDG(S) Modular to be removed (in process)  
 (1) OWNER Peck Construction NO. OF DWELLING UNITS  
 BEFORE: 1 AFTER: 1 THIS CONSTRUCTION  
 (1) ADDRESS 2347 South Rin Dr. 6J. NO. OF BLDGS ON PARCEL  
 BEFORE: 1 AFTER: 1 THIS CONSTRUCTION  
 (2) APPLICANT Milo Johnson USE OF EXISTING BLDGS Modular is in process of being abandoned and moved  
 (2) ADDRESS 2347 S Rin Dr. DESCRIPTION OF WORK AND INTENDED USE:  
Single family  
 (2) TELEPHONE 255-8010  
cell # - 250-0968

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-5 Maximum coverage of lot by structures 35%  
 SETBACKS: Front 23' from property line (PL) Parking Req'mt 2  
 or \_\_\_\_\_ from center of ROW, whichever is greater  
 Side 10' from south Special Conditions Let Bldg Dept. know when 670 Windstar takes affect. -  
 Side 5' from PL Rear 25' from PL  
 Maximum Height 32'  
 CENSUS 10 TRAFFIC 22 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Director of the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 10/18/99  
 Department Approval [Signature] Date 10/20/99 W/O

Additional water and/or sewer tap fee(s)-are required: YES \_\_\_\_\_ NO  W/O No See 12635

Utility Accounting [Signature] Date 10-20-99

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

NW Cor. NE4 SW4 NW4  
Sec. 6 T15, R11 to M.  
No. 6 Rebar an.  
Alum. Cap P.S. 16835  
Set in Concrete

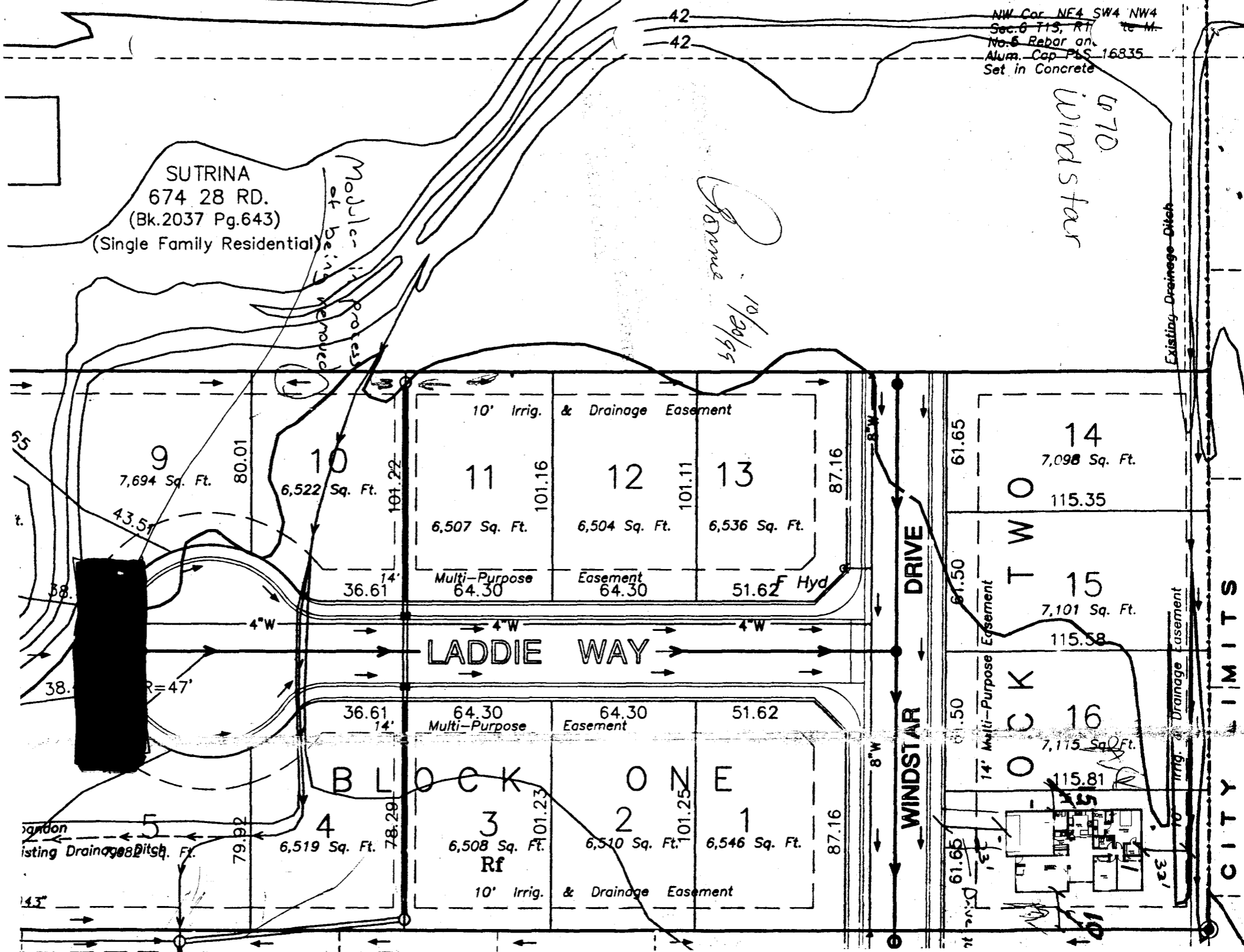
W70  
Windsfar

SUTRINA  
674 28 RD.  
(Bk.2037 Pg.643)  
(Single Family Residential)

Module in process  
of being removed

Remove  
5/20/95

Existing Drainage Ditch



55

9  
7,694 Sq. Ft.

80.01

10  
6,522 Sq. Ft.

101.22

11  
6,507 Sq. Ft.

101.16

12  
6,504 Sq. Ft.

101.11

13  
6,536 Sq. Ft.

87.16

61.65

14  
7,098 Sq. Ft.

115.35

61.50

15  
7,101 Sq. Ft.

115.58

61.50

16  
7,115 Sq. Ft.

115.81

38.

38.

R=47'

36.61

4"W

14'

4"W

LADDIE WAY

36.61

14'

4"W

64.30  
Multi-Purpose

64.30  
Easement

51.62  
Hyd

87.16

8"W

DRIVE

WINDSTAR

5

Existing Drainage Ditch. Fx.

79.92

4  
6,519 Sq. Ft.

78.29

3  
6,508 Sq. Ft.

101.23

2  
6,510 Sq. Ft.

101.25

1  
6,546 Sq. Ft.

87.16

B L O C K O N E

10' Irrig. & Drainage Easement



Existing Drainage Easement

CITY LIMITS