

FEE \$	10.00
TCP \$	0
SIF \$	292.00

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. 80239



Your Bridge to a Better Community

BLDG ADDRESS 675 Gemston B SQ. FT. OF PROPOSED BLDGS/ADDITION 1420
 TAX SCHEDULE NO. 2945 032 74 014 SQ. FT. OF EXISTING BLDGS 0
 SUBDIVISION Diamond Ridge TOTAL SQ. FT. OF EXISTING & PROPOSED 1420
 FILING 1 BLK 2 LOT 7B NO. OF DWELLING UNITS:
 Before: 0 After: 1 this Construction
 (1) OWNER Kiva Development LLC NO. OF BUILDINGS ON PARCEL
 Before: 0 After: 1 this Construction
 (1) ADDRESS 656 E Cliff USE OF EXISTING BUILDINGS _____
 (1) TELEPHONE 970 234 4000 DESCRIPTION OF WORK & INTENDED USE New home
 (2) APPLICANT Same as above TYPE OF HOME PROPOSED:
 (2) ADDRESS _____ Site Built _____ Manufactured Home (UBC)
 (2) TELEPHONE _____ _____ Manufactured Home (HUD)
 _____ Other (please specify) _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD Maximum coverage of lot by structures 35%
 SETBACKS: Front 20' from property line (PL) Permanent Foundation Required: YES NO _____
 or _____ from center of ROW, whichever is greater
 Side 5' from PL, Rear 23' from PL Parking Req'mt 2
 Maximum Height 32' Special Conditions _____
 CENSUS 10 TRAFFIC 19 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

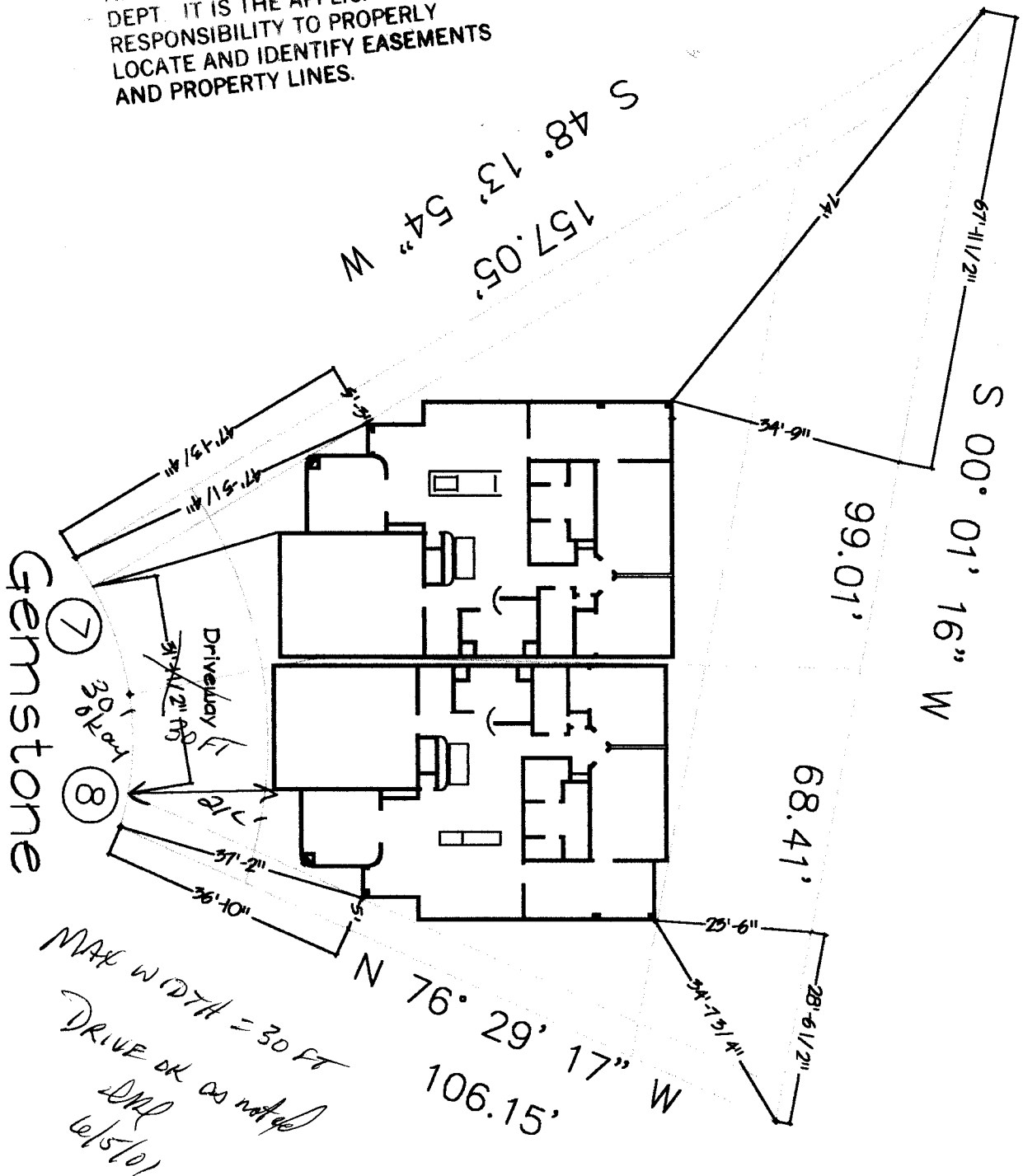
Applicant Signature [Signature] Date 6/5/01
 Department Approval [Signature] Date 6-8-01

Additional water and/or sewer tap fee(s) are required:	YES	NO	W/O No. <u>14019</u>
Utility Accounting	<u>[Signature]</u>	Date	<u>6/8/01</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED Ronnie 6/8/01
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



Gemstone

MAX WIDTH = 30 FT
 DRIVE OK as noted
 DMR
 6/8/01

1.001	Submittal
1.002	Permitting
1.003	Engineering
1.004	Survey
1.005	Other
1.006	None

675 Gemstone Unit A + B
 Diamond Ridge
 Filing 1, Block 2, Lot 1A + 1B

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