

Planning \$ <u>10<sup>00</sup></u>	Drainage \$ <u>0</u>
TCP \$ <u>0</u>	School Impact \$ <u>0</u>



BLDG PERMIT NO. <u>78501</u>
FILE # <u>n/a</u>

### PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)  
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BUILDING ADDRESS 464 Main Street

TAX SCHEDULE NO. 2945-143-16-018

SUBDIVISION \_\_\_\_\_

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 200 sq. ft. on rooftop

FILING \_\_\_\_\_ BLK 103 LOT 17 & 18

SQ. FT. OF EXISTING BLDG(S) ~~approx~~ 40,000 sq. ft.

OWNER HR Adventures LLC, a Colorado Limited Liability

NO. OF DWELLING UNITS: BEFORE N/A AFTER N/A

ADDRESS 101 S. 3rd St. Grand Junction, CO 81501

NO. OF BLDGS ON PARCEL: BEFORE N/A AFTER N/A

TELEPHONE \_\_\_\_\_

USE OF ALL EXISTING BLDGS office bldg.

APPLICANT Alamosa PCS

DESCRIPTION OF WORK & INTENDED USE: low-powered

ADDRESS 1918 Logan St. Denver, CO 80203

telecommunications facility.

TELEPHONE (303) 359-0010

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE B-2

LANDSCAPING/SCREENING REQUIRED: YES \_\_\_\_\_ NO X

SETBACKS: FRONT: 15' from Property Line (PL) or from center of ROW, whichever is greater  
SIDE: 0' from PL REAR: 0' from PL

PARKING REQUIREMENT: n/a

SPECIAL CONDITIONS: as per approved plans

MAXIMUM HEIGHT 65'

MAXIMUM COVERAGE OF LOT BY STRUCTURES 4. FAR

CENSUS TRACT 3 TRAFFIC ZONE 35 ANNEX \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature Cari Russo

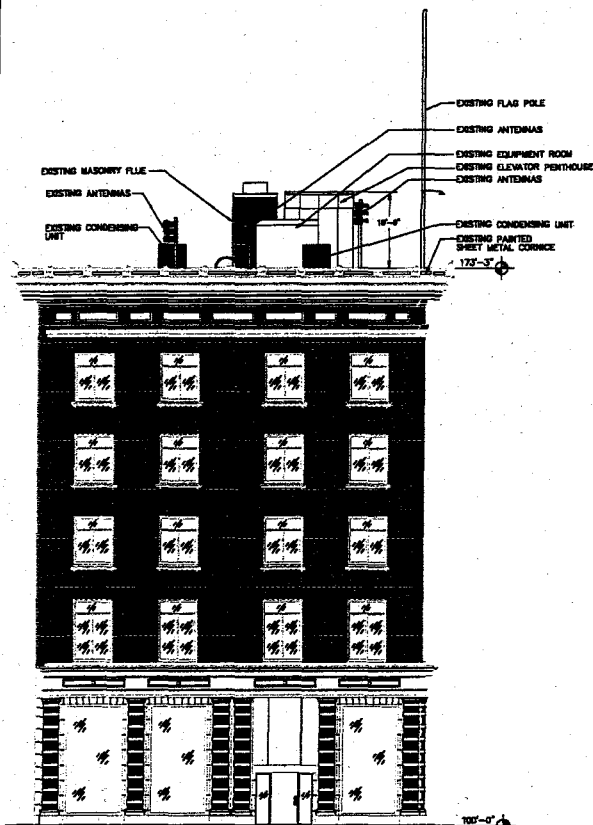
Date 1/12/07

Department Approval Patricia Punt

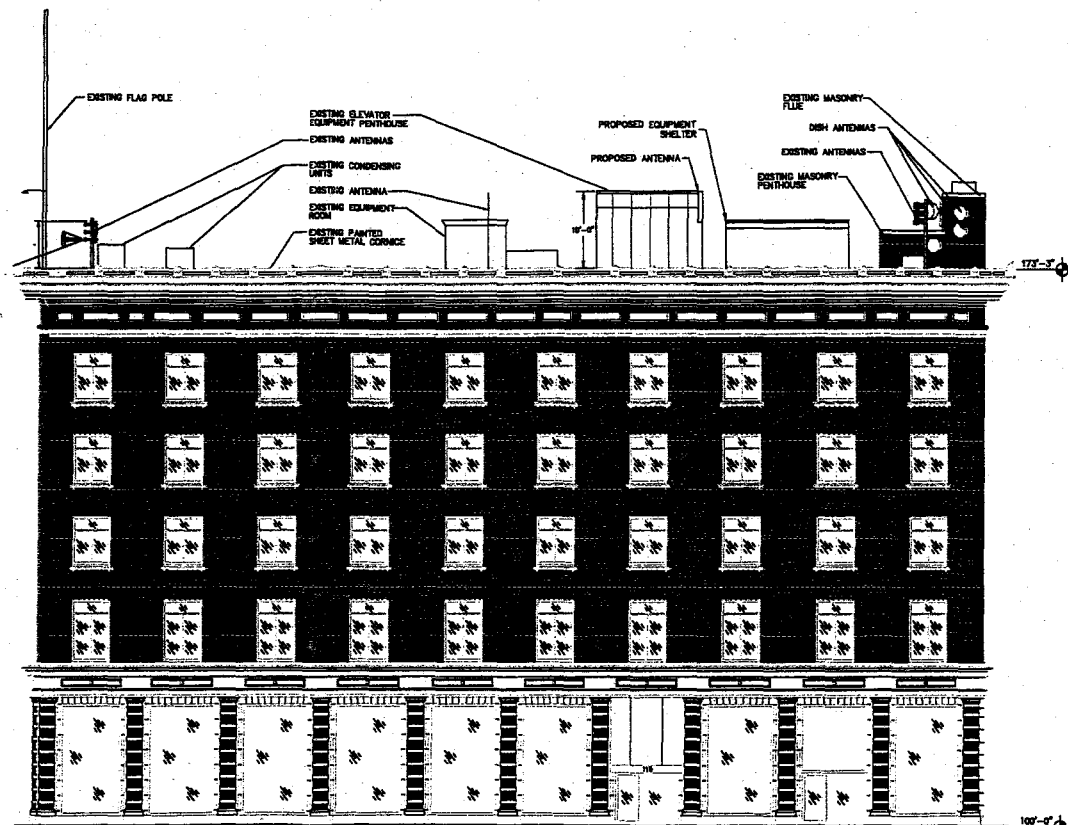
Date 1-16-01

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>no charges</u>
Utility Accounting	<u>[Signature]</u>		Date <u>1/16/07</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning and Development Code)



SOUTH ELEVATION



EAST ELEVATION

# Dynatek

TELECOMMUNICATIONS SERVICES

5170 Belmont Avenue  
 Youngstown, Ohio 44505  
 Phone: 800-88-3224  
 Fax: (330) 759-8471

DYNATEK PROJECT NO.

SITE NAME:  
**DALBY-WENTLAND BUILDING**

SITE NUMBER:  
**DE05AL121**

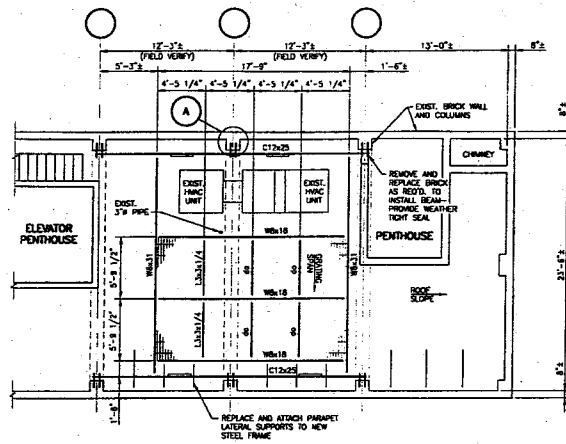
SITE ADDRESS:

DESIGN TYPE:  
**ROOFTOP**

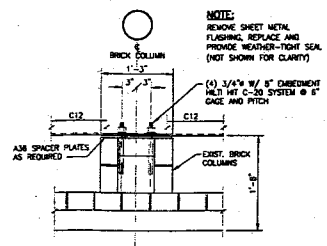
DRAWING TITLE:  
**LEASE PLAN**

DATE	BY	CHECKED	APPROVED
			Mark N. Thompson
SCALE	DATE		
AS SHOWN	12-2000		
PROJECT	DATE		

DRAWING NO. **L-3** REV. NO.



**ROOF FRAMING PLAN**  
SCALE: 3/16"=1'-0"



**DETAIL (TYP. 6 PLACES)**  
SCALE: 1"=1'-0"

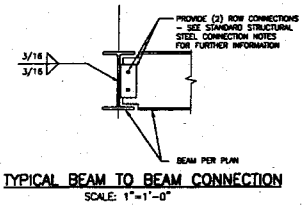
- GENERAL STRUCTURAL NOTES:**
- WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
  - NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
  - NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC. CONTRACTOR AGREES THAT HE SHALL ASSUME AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THE CONTRACTOR SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL OBTAIN NECESSARY AND HELD ALAMOSA P.C.S. AND THE ARCHITECT/ENGINEER'S PERMISSION FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ALAMOSA P.C.S. OR THE ARCHITECT/ENGINEER.
  - THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND PEDESTRIANS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING, PROVISIONS FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC. OBSERVATION NOTES TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH ITEMS.
  - ASTM SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
  - CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FINISHED FLOOR OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING/SUPPORTS WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONNECTION WITH THE APPROVED PLANS AND SPECIFICATIONS.
  - CONTRACTOR SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
  - THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
  - ALL ITEMS REMOVED DURING CONSTRUCTION WORK (I.E. DRYWALL, PLYWOOD, CEILING PANELS, ETC.) SHALL BE REPLACED TO MATCH EXISTING.
  - THE FOLLOWING REQUIREMENTS SHALL BE NOT FOR SPECIAL INSPECTION:
    - THE SPECIAL INSPECTOR SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
    - THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE ARCHITECT/ENGINEER AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICE.
    - THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE UNIFORM BUILDING CODE.
    - COMPLY WITH ALL CITY SPECIAL INSPECTION REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD DIMENSIONS, ELEVATIONS AND SIZES, PRIOR TO FABRICATION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.

**STANDARD STRUCTURAL STEEL NOTES:**

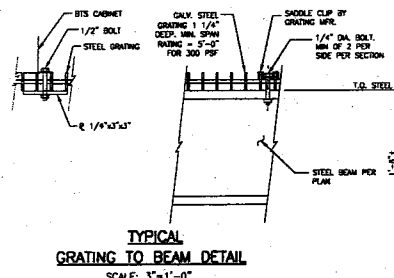
- ALL METAL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION GALVANNEZED ASTM A36 UNLESS NOTED OTHERWISE.
- STRUCTURAL TUBING MEMBERS SHALL CONFORM TO ASTM A500, GRADE A OR A501.
- ALL WELDING SHALL BE DONE USING EPOXY ELECTRODES AND WELDING SHALL CONFORM TO AWS AND AWS D11.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE 2.2.4 IN THE AWS MANUAL OF STEEL CONSTRUCTION 3RD EDITION.
- NON-STRUCTURAL CONNECTIONS FOR HANDRAILS, LADDERS AND STEEL GRATING MAY USE 3/8" DIA. GALVANNEZED ASTM A307 BOLTS UNLESS OTHERWISE NOTED. STRUCTURAL STEEL BEAMS, COLUMNS, AND CONNECTIONS SHALL BE DETAIL, FABRICATED AND ERECTED IN ACCORDANCE WITH AWS MANUAL OF STEEL CONSTRUCTION, ALLOWABLE STRESS DESIGN, NINTH EDITION (INCLUDING AWS CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES).
- WELD WELDING TO EXISTING STEEL, PAINT AND/OR GALVANNEZING SHALL BE CROCKED OFF BEFORE WELDING AND SHALL BE REPAIRED AFTER WELDING.

**STANDARD STRUCTURAL STEEL CONNECTION NOTES:**

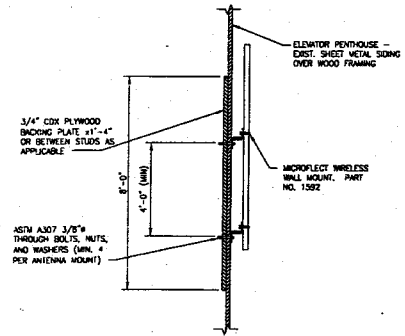
- BEAM-TO-BEAM CONNECTIONS SHALL BE STANDARD FRAMED DOUBLE CLIP ANGLE WEB CONNECTIONS PER AISC PART 4, TABLE 4 - A (BEARING-TYPE) OR TABLE 4 CONNECTIONS.
- FOR TABLE 4 CONNECTIONS, THE MINIMUM EDGE DISTANCE FROM CENTERLINE OF BOLT HOLES SHALL BE 2".
- MINIMUM CLIP ANGLE THICKNESS SHALL BE 5/16" FOR ALL CONNECTIONS UNLESS INDICATED OTHERWISE.
- ALL HIGH STRENGTH BOLTS SHALL BE 3/4" ASTM A325X BOLTS UNLESS INDICATED OTHERWISE.
- BOLTED CONNECTIONS SHALL HAVE STANDARD OR SHORT-SLOTTED HOLES NORMAL TO LOAD DIRECTION AS DEFINED BY AISC MANUAL OF STEEL CONSTRUCTION. LONG SLOTTED HOLES SHALL NOT BE PERMITTED. CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS OTHERWISE NOTED.
- BEAM CONNECTION GAGE SHALL NOT EXCEED 3" UNLESS INDICATED OTHERWISE.



**TYPICAL BEAM TO BEAM CONNECTION**  
SCALE: 1"=1'-0"



**TYPICAL GRATING TO BEAM DETAIL**  
SCALE: 3"=1'-0"



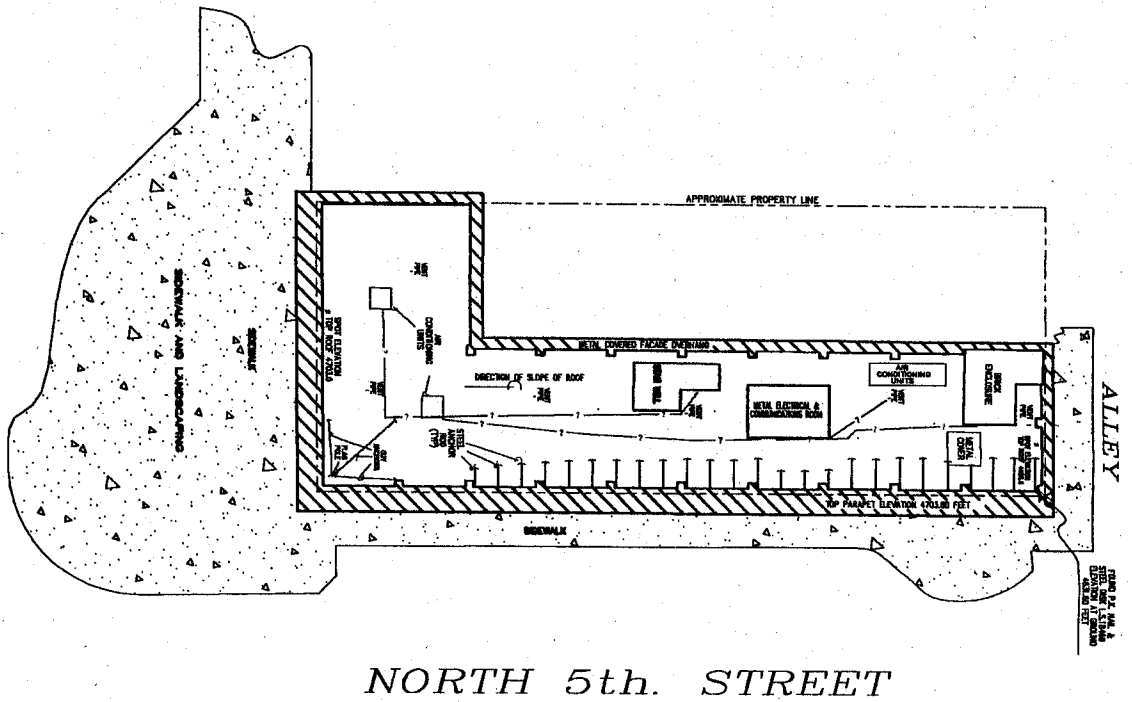
**ANTENNA MOUNT DETAIL**

**JR Engineering, Ltd.**  
8020 Greenwood Plaza Blvd.  
Englewood, Colorado 80111  
Tel. (303) 740-9393  
FAX (303) 721-9019

**NOT FOR CONSTRUCTION**

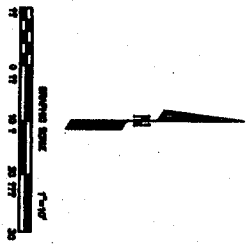
DIY/WATER PROJECT No.	14655.13
SITE NAME:	GRAND JUNCTION
SITE NUMBER:	DE05-AL-121
SITE ADDRESS:	464 MAIN STREET GRAND JUNCTION, CO.
DESIGN TYPE:	ROOFTOP
<b>STRUCTURAL NOTES &amp; DETAILS</b>	
DRAWING NO.	REV. NO.
S-1	A

**MAIN STREET**

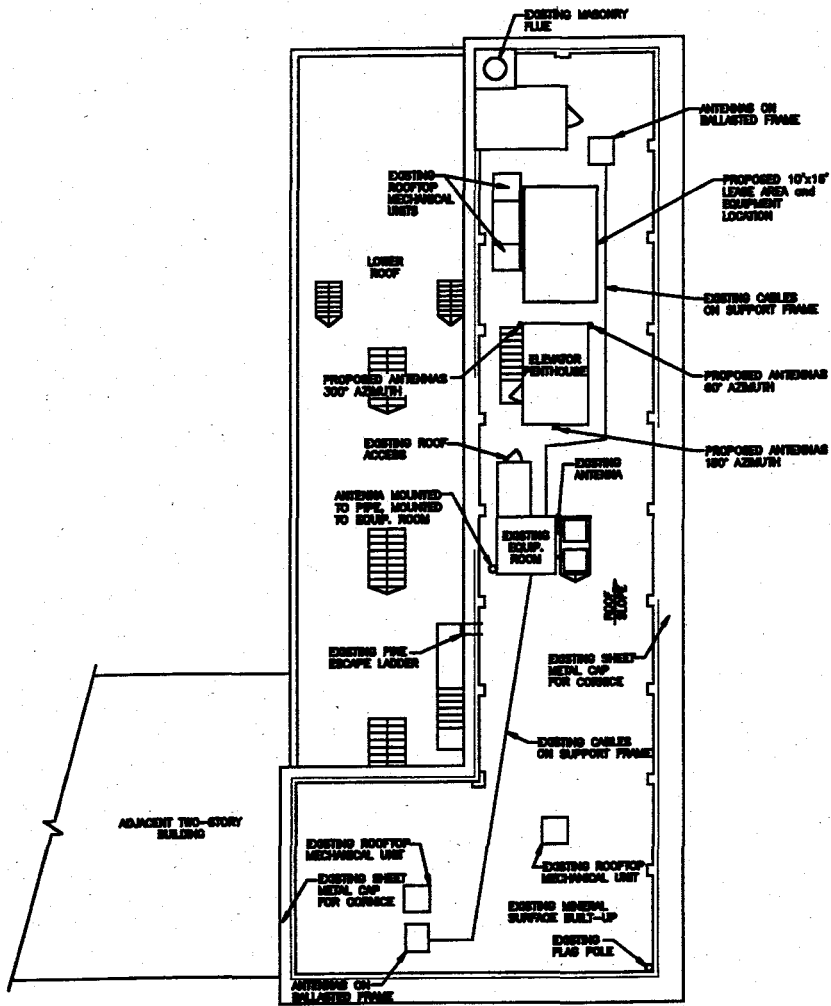


**NORTH 5th. STREET**

**484 MAIN STREET**  
 LOTS 17 & 18, BLOCK 103, CITY OF GRAND JUNCTION  
 LOCATED IN THE SW 1/4 SECTION 14, T2S, R1W, O2E &  
**MESA COUNTY, COLORADO**  
**D. H. SURVEYS, INC.**  
 118 OURAY AVE. - GRAND JUNCTION, CO.  
 (970) 245-8748



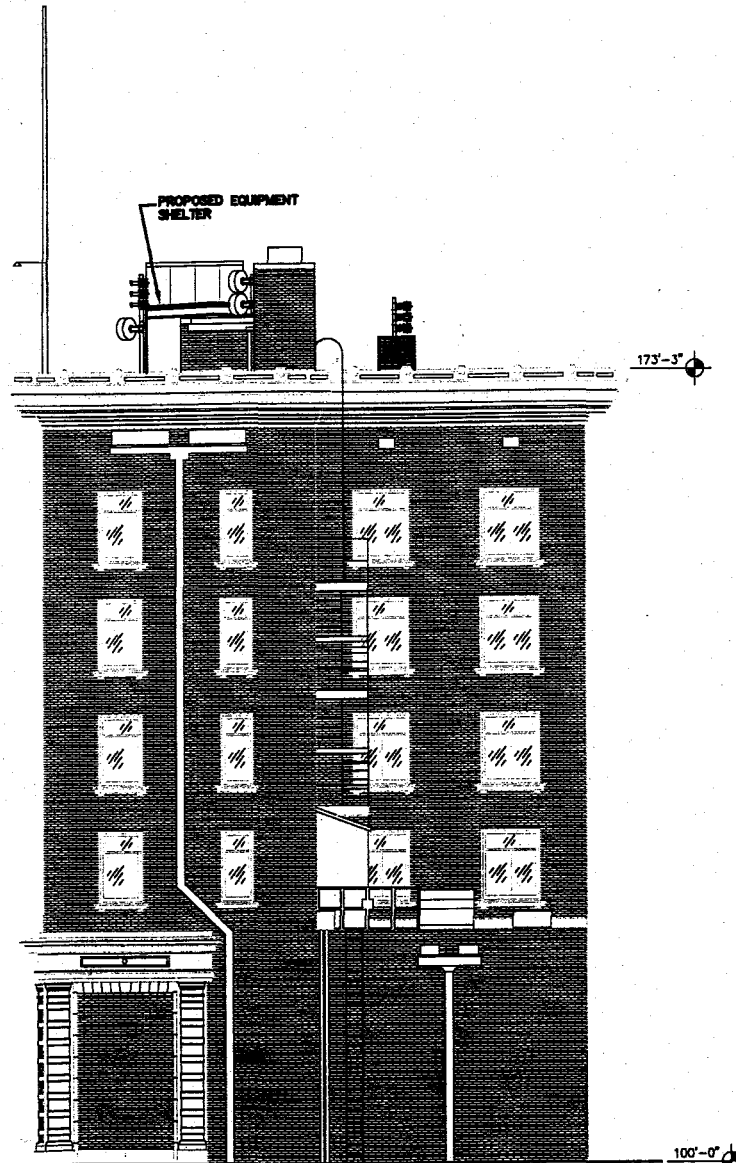
Drawn by: S.A.H.	Scale: 1" = 10'
Checked by: M.W.H.	Sheet: 1 OF 1
Date: 10/20/01	



APPROVED FOR CONSTRUCTION

*Pat Pat* 1-16-01  
 Community Development Department Date

PLAN VIEW



NORTH ELEVATION

# Dynatek

TELECOMMUNICATIONS SERVICES

5170 Belmont Avenue  
 Youngstown, Ohio 44505  
 Phone: 800-638-3724  
 Fax: (330) 759-9471

DYNATEK PROJECT No.

SITE NAME:  
**DALBY-WENTLAND BUILDING**

SITE NUMBER:  
**DE05AL121**

SITE ADDRESS:

DESIGN TYPE:  
**ROOFTOP**

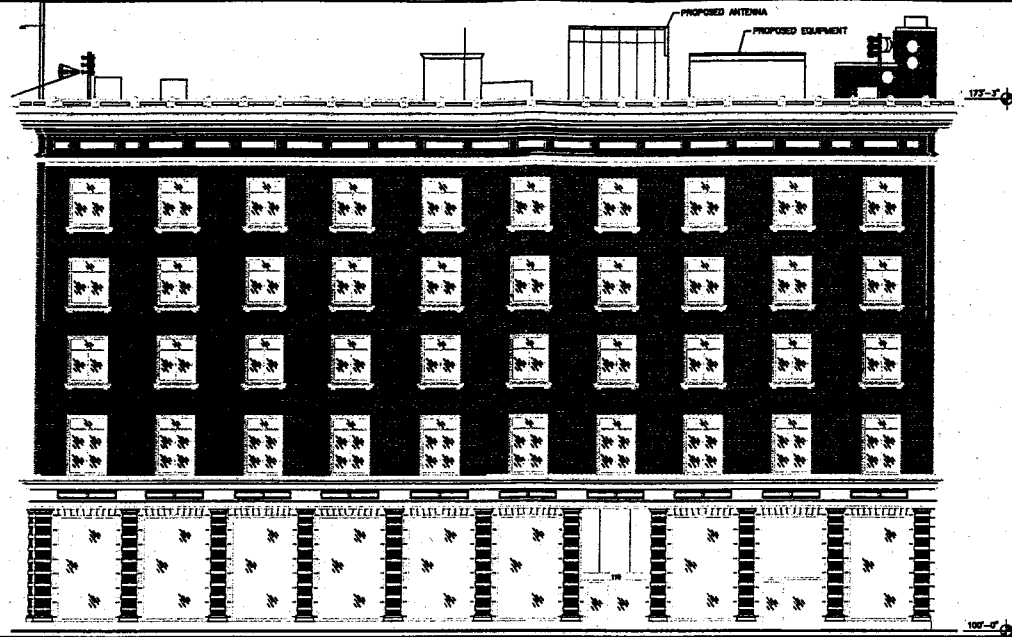
DRAWING TITLE:  
**LEASE PLAN**

DATE: 1-16-01  
 DRAWN BY: MTH  
 CHECKED BY: MTH  
 PROJECT NO. 05AL121

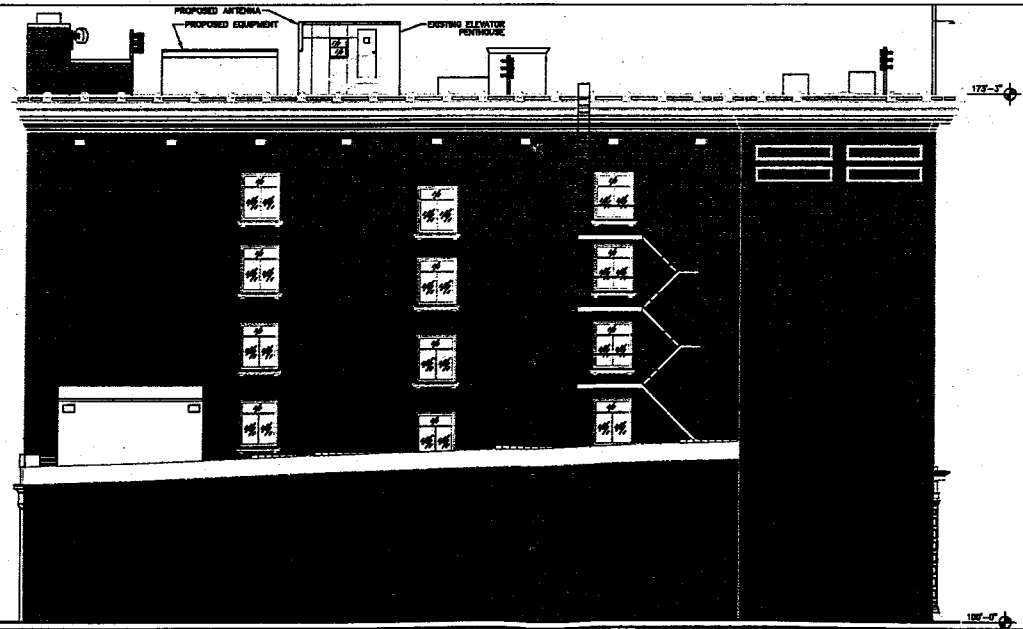
DRAWING NO.

REV. NO.

**L-1**



EAST ELEVATION



WEST ELEVATION

# Dynatek

TELECOMMUNICATIONS SERVICES

5170 Belmont Avenue  
 Youngstown, Ohio 44505  
 Phone: 800-838-3224  
 Fax: (330) 759-8471

DYNATEK PROJECT No.	
SITE NAME: DALBY WENTLAND BUILDING	
SITE NUMBER: DE05AL121	
SITE ADDRESS:	
DESIGN TYPE: ROOFTOP	
DRAWING TITLE: LEASE PLAN	
DATE: REVISED:	DESIGNED BY: Mark N. Thompson
DATE: REVISED:	CHECKED BY:
DRAWING NO. <b>L-2</b>	REV. NO.