

FEE \$	10.00
TCP \$	0
SIF \$	0

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. 81795



Your Bridge to a Better Community

BLDG ADDRESS 446 Ridges Blvd.

SQ. FT. OF PROPOSED BLDGS/ADDITION 1125 (FACE)

TAX SCHEDULE NO. 2945-163-25-001

SQ. FT. OF EXISTING BLDGS _____

SUBDIVISION E. side of entrance to Ridges
 FILING _____ BLK _____ LOT _____

TOTAL SQ. FT. OF EXISTING & PROPOSED _____

(1) OWNER Ridlands Mesa Master Assoc.

NO. OF DWELLING UNITS: 0
 Before: _____ After: _____ this Construction

(1) ADDRESS 364 West Ridges Blvd.

NO. OF BUILDINGS ON PARCEL
 Before: _____ After: _____ this Construction

(1) TELEPHONE 970.255.7400

USE OF EXISTING BUILDINGS _____

(2) APPLICANT Same

DESCRIPTION OF WORK & INTENDED USE community entrance management 2001

(2) ADDRESS Rick Keller

TYPE OF HOME PROPOSED:
 _____ Site Built _____ Manufactured Home (UBC)

(2) TELEPHONE 256-0255

_____ Manufactured Home (HUD)
 _____ Other (please specify) _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD

Revocable permit was issued to replace existing signs
 Maximum coverage of lot by structures _____

SETBACKS: Front _____ from property line (PL)
 or _____ from center of ROW, whichever is greater

Permanent Foundation Required: YES _____ NO _____

Side _____ from PL, Rear _____ from PL

Parking Req'mt _____

Maximum Height _____

Special Conditions corner of 340 & Ridges Blvd
Must place signs in same location as previous signs.
 CENSUS _____ TRAFFIC _____ ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include, but not necessarily be limited to non-use of the building(s).

Applicant Signature Richard S. Keller Date _____

Department Approval Kathleen M. Porter Date 10-2-01

Additional water and/or sewer tap fee(s) are required:	YES	NO	W/O No.
Utility Accounting <u>C. Bensley</u>			Date <u>10/3/01</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

DESIGN INTENT DRAWINGS FOR
OFF SITE SIGNAGE FOR



REDLANDS MESA

GRAND JUNCTION, COLORADO

OWNER:

REDLANDS MESA
900 VALLEY ROAD
CARBONDALE, COLORADO 81629
CONTACT: RONALD AUSTIN
TEL: 970-423-2600
FAX: 920-423-4720
CONTACT: DAVID SLEMON
TEL: 970-204-1011
FAX: 920-204-1001

LANDSCAPE ARCHITECT

DOWNING, THORPE & JAMES, INC.
1801 NINTH STREET, SUITE 109
BOULDER, COLORADO 80502
TEL: 303-443-1583
FAX: 303-443-1584
CONTACT: GREG WHITE

SHEET INDEX

LD-1	COVER SHEET
LD-2	WEST SIGNAGE DESIGN INTENT ELEVATION
LD-3	EAST SIGNAGE DESIGN INTENT ELEVATION
LD-4	WEST SIGNAGE DESIGN INTENT LAYOUT
LD-5	EAST SIGNAGE DESIGN INTENT LAYOUT
LD-6	DESIGN INTENT PALMS
	DESIGN INTENT SECTION

ISSUE DATE:

10-3-00

GENERAL NOTES:

1. 10° BATTER TYPICAL FOR ALL BATTERED WALLS.
2. CONTRACTOR TO VERIFY HEIGHT & WIDTH OF FOOTING IN FIELD.
3. CONTRACTOR TO NOTIFY OWNER/OWNER REP. OF ANY CONFLICTS OR DISCREPENCIES IMMEDIATELY.
4. CONTRACTOR TO PROVIDE MATERIAL SAMPLES FOR ANY SPECIFIED MATERIALS SHOWING COLOR, TEXTURE, FINISH AND SIZE.

5. ALL LETTERS AND OTHER SIGNAGE ELEMENTS TO BE 1" DIMENSIONAL METAL AND WILL BE PIN MOUNTED INTO STUCCO PANEL.
6. CONTRACTOR TO FIELD VERIFY EXISTING FOOTING AND WOOD PANELS.
7. CONTRACTOR TO REPLACE EXISTING WOOD SCREENS @ EXISTING LIGHTS W/ NATURAL ROCK ARRANGEMENT TO SCREEN LIGHTS.

4 6" HIGH, 1" THICK (DIMENSIONAL) METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

FABRICATED RUSTED METAL LOGO PIN MOUNTED INTO STUCCO PANEL

A 8" HIGH, 1" THICK (DIMENSIONAL) METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

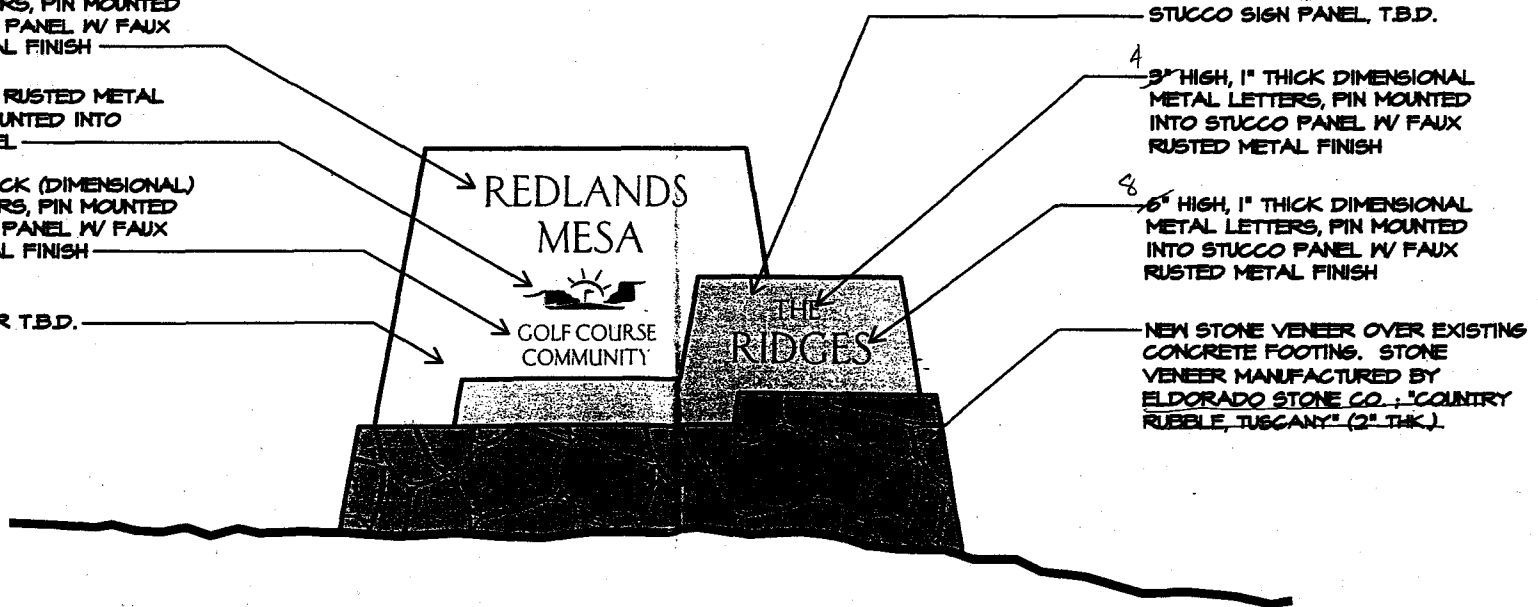
STUCCO SIGN PANEL, COLOR T.B.D.

STUCCO SIGN PANEL, T.B.D.

4 8" HIGH, 1" THICK DIMENSIONAL METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

8 6" HIGH, 1" THICK DIMENSIONAL METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

NEW STONE VENEER OVER EXISTING CONCRETE FOOTING. STONE VENEER MANUFACTURED BY ELDORADO STONE CO.; "COUNTRY RUBBLE, TUSCANY" (2" THK.)



① **DESIGN INTENT ELEVATION: WEST SIGNAGE @ BROADWAY & RIDGES BLVD.**

NOTE: THESE DRAWINGS ARE FOR DESIGN INTENT ONLY AND ARE NOT INTENDED FOR CONSTRUCTION.

SCALE: 1/2" = 1'-0"



**DOWNING
THORPE
JAMES**



REDLANDS MESA
GRAND JUNCTION, COLORADO

DATE: 10/3/00

SHEET TITLE:
WEST SIGNAGE
DESIGN INTENT
ELEVATION

SHEET NUMBER:

LD-1

GENERAL NOTES:

1. 10° BATTER TYPICAL FOR ALL BATTERED WALLS.
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6. CONTRACTOR TO REMOVE & DISPOSE OF EXISTING WOOD PANELS.
7. CONTRACTOR TO REMOVE THE SOUTHERN 5/4 OF EXISTING FOOTING TO CREATE CORRECT SIZE FOOTING FOR NEW SIGNAGE. (VERIFY DIMENSIONS IN FIELD).
8. CONTRACTOR TO REPLACE EXISTING WOOD SCREENS @ EXISTING LIGHTS W/ NATURAL ROCK ARRANGEMENT TO SCREEN LIGHTS.

FABRICATED RUSTED METAL LOGO PIN MOUNTED INTO STUCCO PANEL

4" HIGH, 1" THICK (DIMENSIONAL) METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

3" HIGH, 1" THICK (DIMENSIONAL) METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

STUCCO SIGN PANEL, COLOR T.B.D.

REDLANDS MESA

GOLF COURSE COMMUNITY

THE RIDGES

6" HIGH, 1" THICK DIMENSIONAL METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

4" HIGH, 1" THICK DIMENSIONAL METAL LETTERS, PIN MOUNTED INTO STUCCO PANEL W/ FAUX RUSTED METAL FINISH

STUCCO SIGN PANEL, COLOR T.B.D.

NEW STONE VENEER OVER EXISTING CONCRETE FOOTING. STONE VENEER MANUFACTURED BY ELDORADO STONE CO., "COUNTRY RUBBLE, TUSCANY" (2" THK)

2

DESIGN INTENT ELEVATION: EAST SIGNAGE @ BROADWAY & RIDGES BLVD.

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SCALE: 1/2" = 1'-0"



DOWNING
THORPE
JAMES



REDLANDS MESA

GRAND JUNCTION, COLORADO

DATE: 10/3/00

SHEET TITLE:
EAST SIGNAGE
DESIGN INTENT
ELEVATION

SHEET NUMBER:

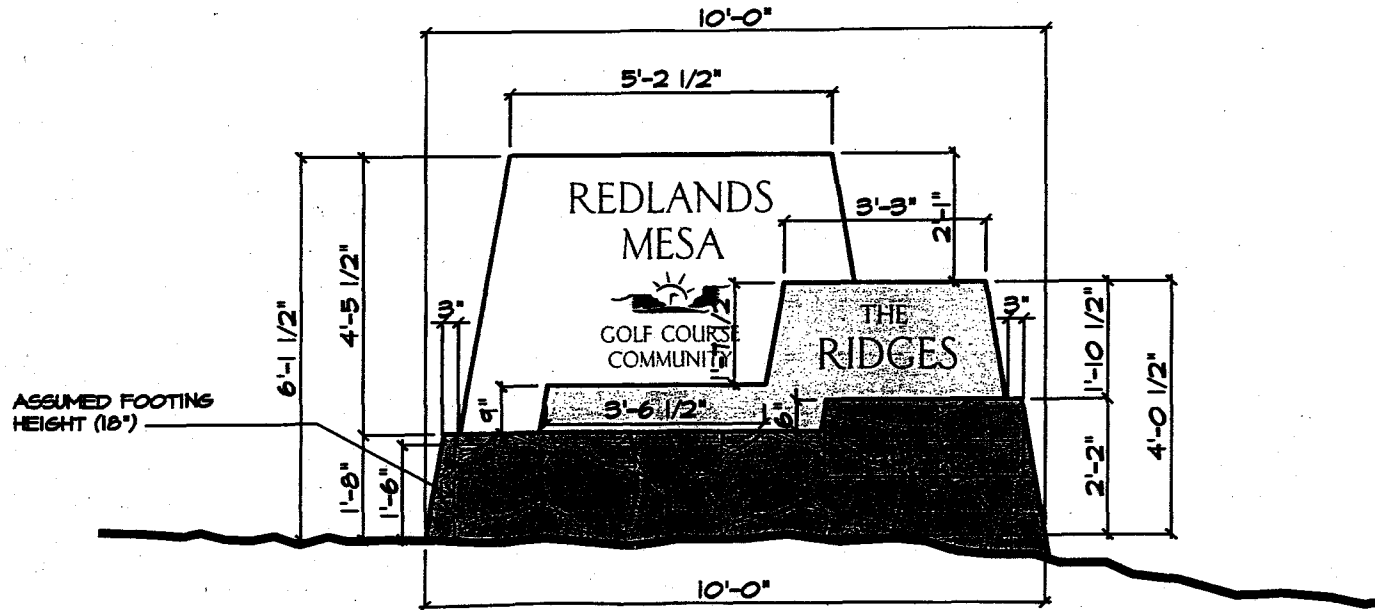
LD-2

GENERAL NOTES:

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7. CONTRACTOR TO REPLACE EXISTING WOOD SCREENS @ EXISTING LIGHTS W/ NATURAL ROCK ARRANGEMENT TO SCREEN LIGHTS.

*SEE SHEET LD-5 DETAIL B FOR PLAN LAYOUT



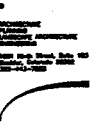
3 DESIGN INTENT LAYOUT WEST SIGNAGE @ BROADWAY & RIDGES BLVD.

NOTE: THESE DRAWINGS ARE FOR DESIGN INTENT ONLY AND ARE NOT INTENDED FOR CONSTRUCTION.

SCALE: 1/2" = 1'-0"



**DOWNING
THORPE
JAMES**



REDLANDS MESA
GRAND JUNCTION, COLORADO

DATE: 10/3/00

SHEET TITLE:
**WEST SIGNAGE
DESIGN INTENT
LAYOUT**

SHEET NUMBER:

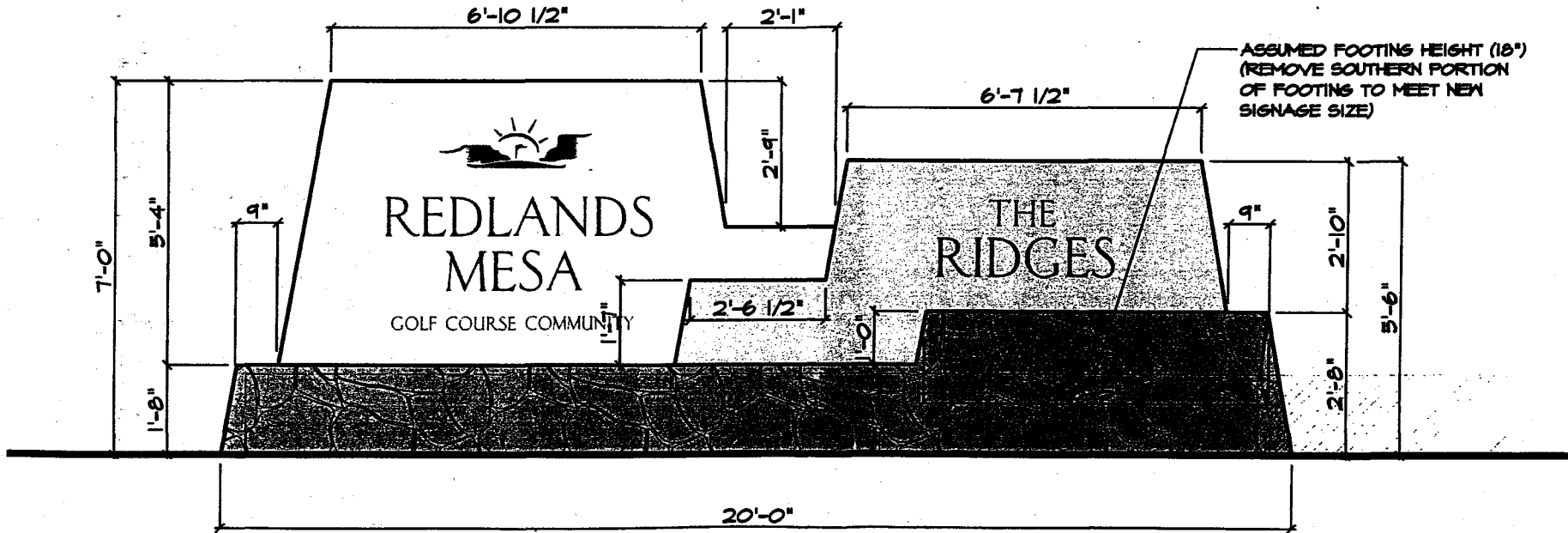
LD-3

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*SEE SHEET LD-5 DETAIL A FOR PLAN LAYOUT

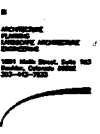


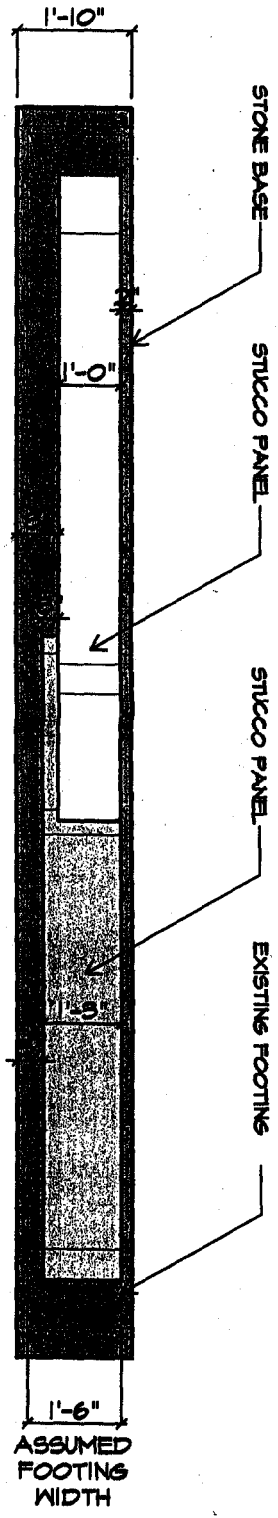
4

DESIGN INTENT LAYOUT: EAST SIGNAGE @ BROADWAY & RIDGES BLVD.

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SCALE: 1/2" = 1'-0"



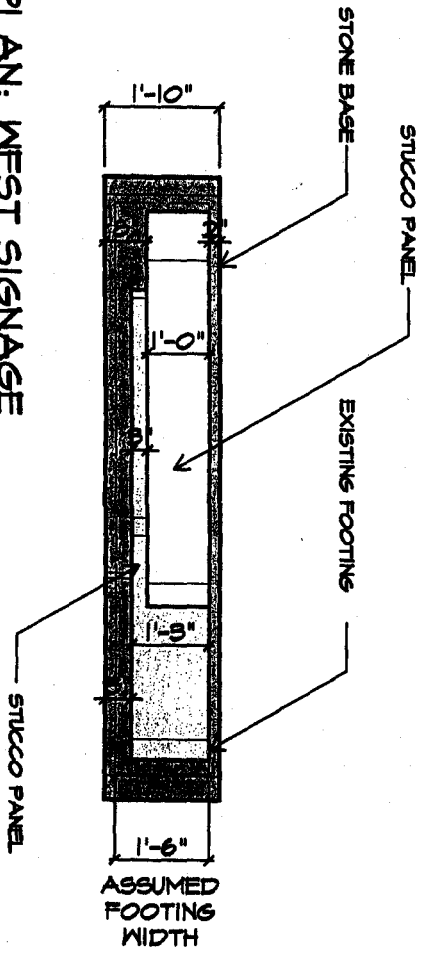


5
A

DESIGN INTENT PLAN: EAST SIGNAGE

SEE ELEVATION FOR LAYOUT & MATERIAL INFORMATION

SCALE: 1" = 1'-0"



5
B

DESIGN INTENT PLAN: WEST SIGNAGE

SEE ELEVATION FOR LAYOUT & MATERIAL INFORMATION

SCALE: 1" = 1'-0"

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DOWNING
THORPE
JAMES

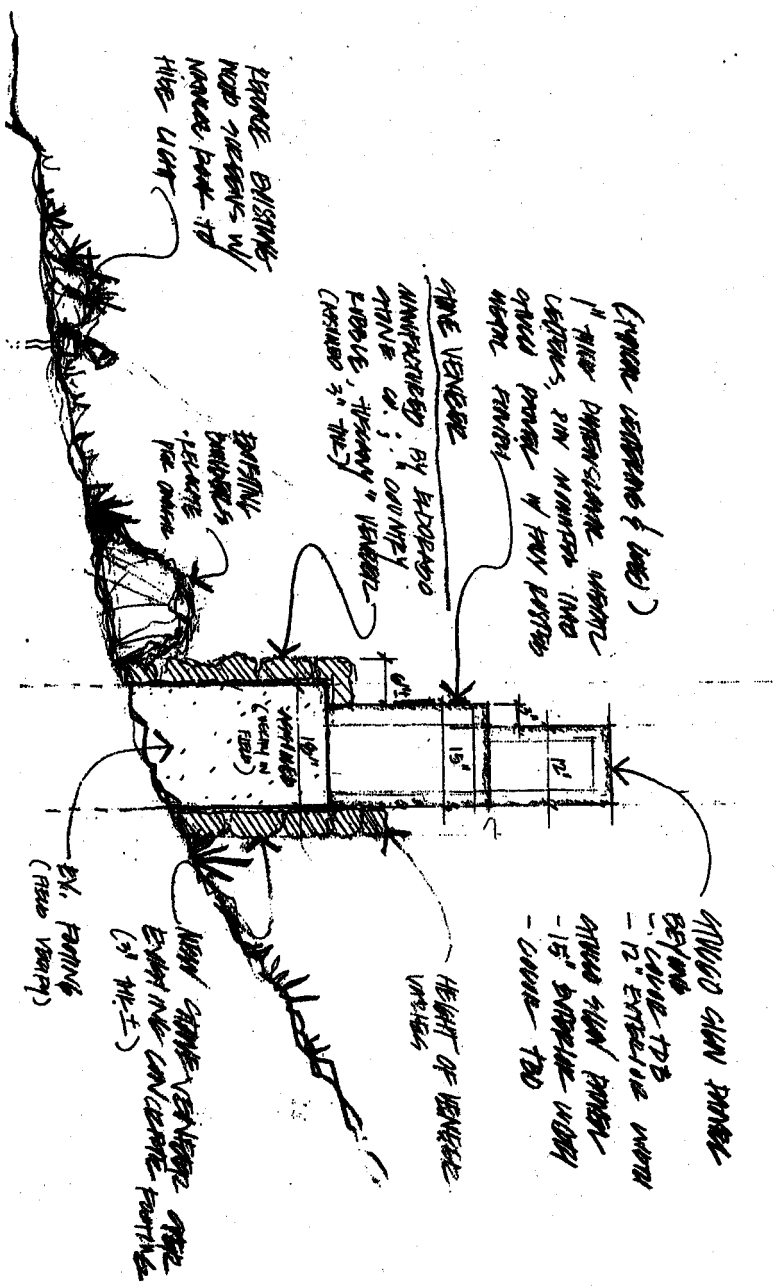
REDLANDS MESA
GRAND JUNCTION, COLORADO

DATE: 10/3/00
DRAWN BY:
DESIGN INTENT
PLANS
LD-5

6

DESIGN INTENT SECTION: MODIFIED SIGNAGE @ BROADWAY

NOTE: THESE DRAWINGS ARE FOR DESIGN INTENT ONLY AND ARE NOT INTENDED FOR CONSTRUCTION.



SCALE: 3/4" = 1'-0"