

FEE \$	10.00
JCP \$	/
SIF \$	/

*Car*

# PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)  
**Community Development Department**

*no permit Req'd*

BLDG PERMIT NO.
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Your Bridge to a Better Community

*23526-15700*

BLDG ADDRESS 344 Red Cliff Ct SQ. FT. OF PROPOSED BLDGS/ADDITION 400

TAX SCHEDULE NO. 2947-351-19-012 SQ. FT. OF EXISTING BLDGS 2500

SUBDIVISION CAMPON View TOTAL SQ. FT. OF EXISTING & PROPOSED 2900

FILING 4 BLK 2 LOT 12

(1) OWNER JAMES BELGARD

(1) ADDRESS 344 RED CLIFF CT

(1) TELEPHONE 243-7530

(2) APPLICANT JAMES BELGARD

(2) ADDRESS \_\_\_\_\_

(2) TELEPHONE \_\_\_\_\_

NO. OF DWELLING UNITS:  
 Before: 1 After: 1 this Construction  
 NO. OF BUILDINGS ON PARCEL  
 Before: 1 After: 1 this Construction

USE OF EXISTING BUILDINGS RESIDENTIAL

DESCRIPTION OF WORK & INTENDED USE DECK

TYPE OF HOME PROPOSED:  
 Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify) \_\_\_\_\_

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE PD

SETBACKS: Front 35' from property line (PL)  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Side 15' Intero PL, Rear 30' from PL

Maximum Height \_\_\_\_\_

Maximum coverage of lot by structures \_\_\_\_\_

Permanent Foundation Required: YES \_\_\_\_\_ NO X

Parking Req'mt 2

Special Conditions \_\_\_\_\_

CENSUS 1401 TRAFFIC 64 ANN# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature James Belgard Date 6-27-01

Department Approval [Signature] Date 6/27/01

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No <u>Deck</u>
Utility Accounting <u>[Signature]</u>		Date <u>7-3-01</u>	

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

# IMPROVEMENT LOCATION CERTIFICATE

341 REDCLIFF COURT

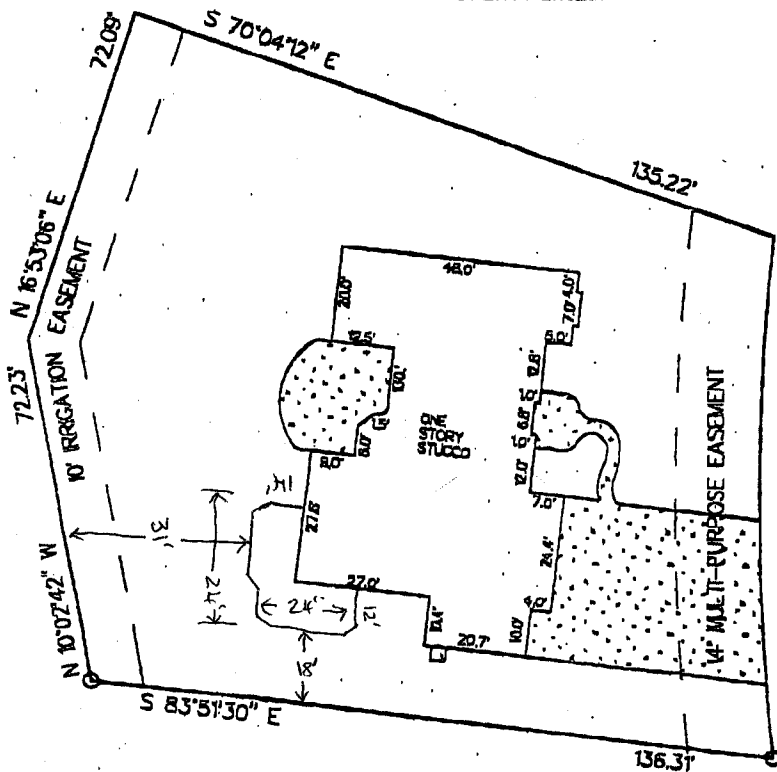
FIRST AMERICAN TITLE #125980  
BELGARD ACCT.

LOT 12 IN BLOCK 2 OF CANYON VIEW SUBDIVISION, PHASE IV,  
MESA COUNTY, COLORADO.

ACCEPTED *7/3/01*  
*Chap Wilson*  
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



SCALE: 1" = 30'



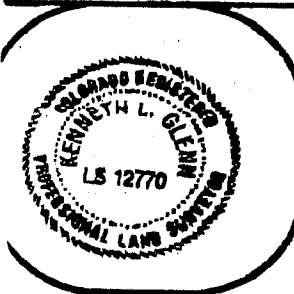
RADIUS = 522'

NOTE: THIS PROPERTY DOES NOT FALL WITHIN ANY 100 YEAR FLOODPLAIN.

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR BANK OF COLORADO, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 06/19/97, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

● = FOUND PIN

*Kenneth L. Glenn*  
KENNETH L. GLENN R.L.S. 12770



## SURVEYIT

PHONE: 970-245-3777 FAX: 241-4847



by GLENN

MAILING:  
2754 COMPASS DRIVE  
SUITE 195  
GRAND JUNCTION, CO. 81508

SURVEYED BY:	J.G.	DATE SURVEYED:	06/19/97
DRAWN BY:	J.H.	DATE DRAWN:	06/19/97
REVISION:		SCALE:	1" = 30'