

FEE \$	5.00
TCP \$	
SIF \$	

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. 84245



Your Bridge to a Better Community

BLDG ADDRESS 2517 Antero Ct. SQ. FT. OF PROPOSED BLDGS/ADDITION 0

TAX SCHEDULE NO. 2945-222-05-013 SQ. FT. OF EXISTING BLDGS ~2700

SUBDIVISION Heatheridge TOTAL SQ. FT. OF EXISTING & PROPOSED ~2708

FILING _____ BLK 2 LOT 13

NO. OF DWELLING UNITS:
 Before: 1 After: 1 this Construction

(1) OWNER Ralph Felling NO. OF BUILDINGS ON PARCEL
 Before: 2 After: 2 this Construction

(1) ADDRESS 2517 Antero Ct.

(1) TELEPHONE 970-257-7711 USE OF EXISTING BUILDINGS Residence

(2) APPLICANT Ralph Felling DESCRIPTION OF WORK & INTENDED USE add spiral staircase

(2) ADDRESS 2517 Antero Ct

(2) TELEPHONE 970-257-7711

TYPE OF HOME PROPOSED:
 Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify) _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF-4 Maximum coverage of lot by structures 50%

SETBACKS: Front 20/25 from property line (PL) Permanent Foundation Required: YES _____ NO _____
 or _____ from center of ROW, whichever is greater

Side 7/3 from PL, Rear 25/5 from PL Parking Req'mt _____

Maximum Height 35' Special Conditions _____

CENSUS _____ TRAFFIC _____ ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Ralph Felling Date 4/24/02

Department Approval Pat Bushman Date 4-24-02

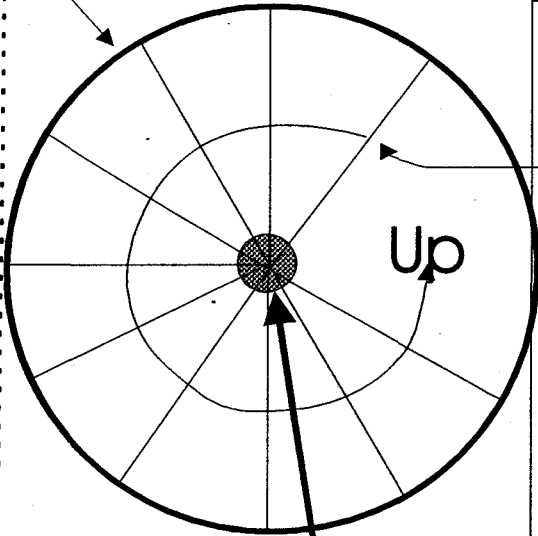
Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No.
Utility Accounting	<u>D. Vanover</u>	Date	<u>4-24-02</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1.c(1) Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

GROUND LEVEL

New Spiral Staircase, 5' 6" Diameter
with entrance at level of concrete patio.



Entrance from patio
at ground level.

Existing Patio
10' 2" X 29' 6"

Concrete pier under center post.
10" diameter, 16" deep.

50' min.
Distance
to any
property
line

Existing Chain link Fence

North
←

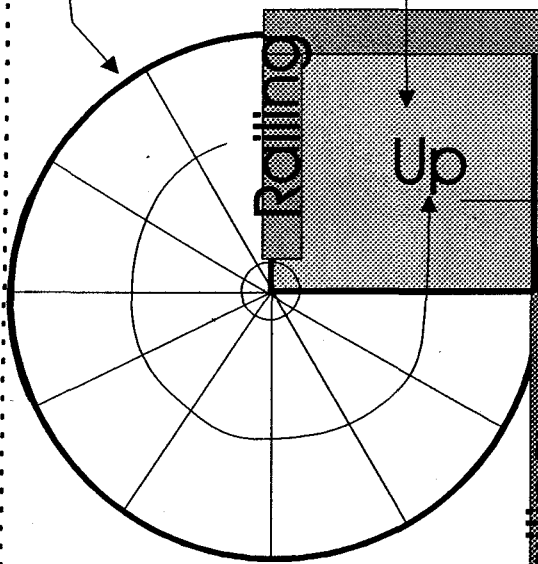
Existing Residence
2517 Antero Court
Grand Junction, 81503, CO

TOP LEVEL

New Spiral Staircase, 5' 6" Diameter
with square landing connected to deck.

50' min.
Distance
to any
property
line

Existing Chain link Fence



Railing

Up

Railing

Platform level with deck

Existing Deck
10'2" X 29' 6"

North
←

Existing Residence
2517 Antero Court

