

FEE \$	10.00
TCP \$	0
SIF \$	292.00

# PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG PERMIT NO. 85153



Your Bridge to a Better Community

BLDG ADDRESS 2556 Applewood Pl. SQ. FT. OF PROPOSED BLDGS/ADDITION 3385.5 *includes garage*

TAX SCHEDULE NO. 2945-011-05-002 SQ. FT. OF EXISTING BLDGS N/A

SUBDIVISION Apple Blossom Heights TOTAL SQ. FT. OF EXISTING & PROPOSED \_\_\_\_\_

FILING \_\_\_\_\_ BLK 2 LOT 2

(1) OWNER Kevin & Nora Koustik

(1) ADDRESS 639 Avalon Dr.

(1) TELEPHONE 970-434-4280

(2) APPLICANT Kevin & Nora Koustik

(2) ADDRESS 639 Avalon Dr.

(2) TELEPHONE 970-434-4280

NO. OF DWELLING UNITS:  
 Before: 0 After: 1 this Construction

NO. OF BUILDINGS ON PARCEL  
 Before: 0 After: 1 this Construction

USE OF EXISTING BUILDINGS New residential Structure

DESCRIPTION OF WORK & INTENDED USE \_\_\_\_\_

TYPE OF HOME PROPOSED:  
 Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify) \_\_\_\_\_

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-4

SETBACKS: Front 20' from property line (PL)  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Side 7' from PL, Rear 25' from PL

Maximum Height 35'

Maximum coverage of lot by structures 50%

Permanent Foundation Required: YES  NO

Parking Req'mt 2

Special Conditions \_\_\_\_\_

CENSUS 10 TRAFFIC 21 ANNEX# \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Nora Koustik Date 6-11-02

Department Approval Pat Bushman Date 6-11-02

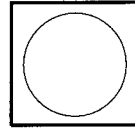
Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	W/O No. <u>15015</u>
Utility Accounting	<u>Tracy Shipe</u>		Date <u>6/11/02</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1.c(1) Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

REVISIONS	
A	
B	
C	
D	
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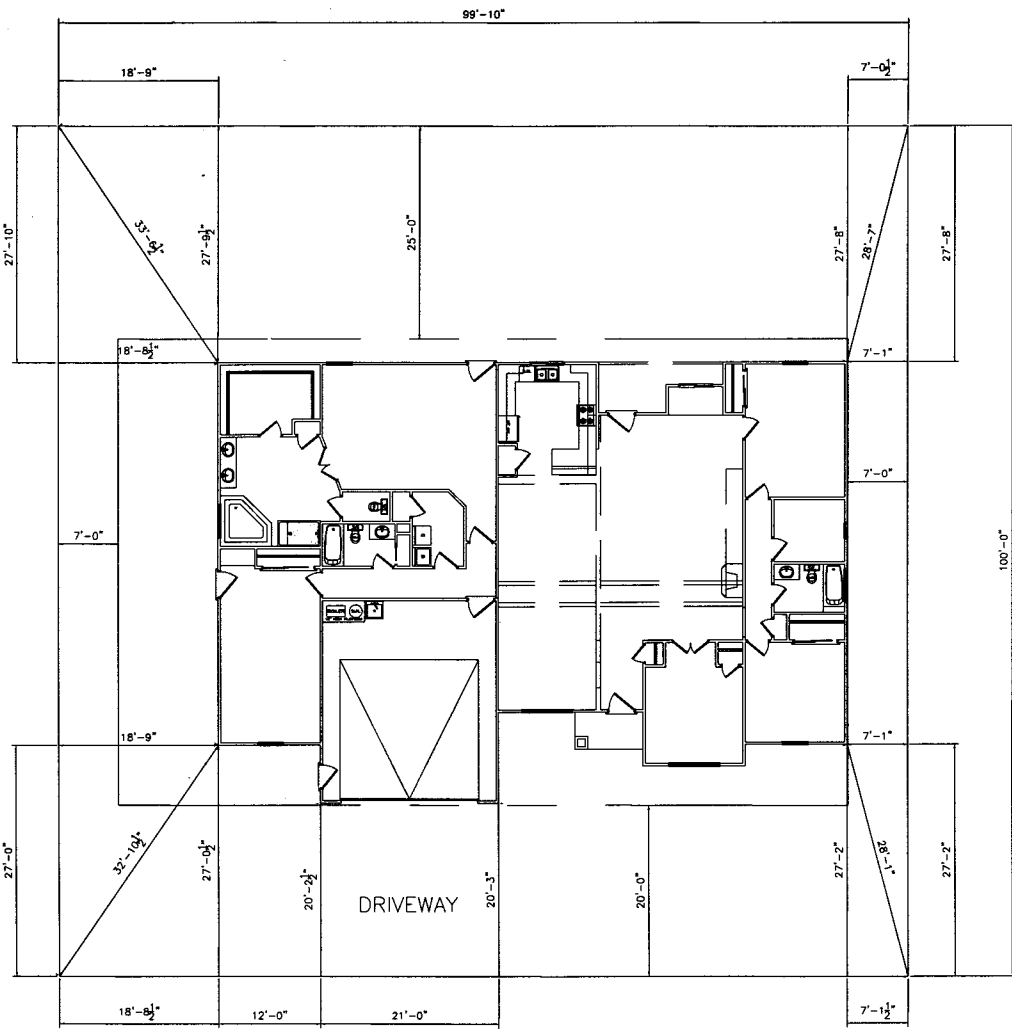
**AUTODRAFT**  
COMPUTER AIDED DRAFTING  
GRAND JUNCTION, CO (970) 241-6782



**THE KOUSTIK RESIDENCE  
SITE PLAN**

DRAWN BY	
AUTODRAFT	
FILE NAME	
CAD FILE	
DATE	
4-30-02	
SCALE	
1/8" = 1'-0"	

APPLE BLOSSOM HEIGHTS  
LOT 2 - BLOCK 2



APPLEWOOD PLACE

*DRIVE OK  
IMP  
6/10/02*

*6-11-02  
Pat Bushman*

*ALL INFORMATION CONTAINED  
HEREIN IS UNCLASSIFIED  
DATE 06-11-02 BY 60322 UCBAW/STP  
EXCEPT WHERE SHOWN OTHERWISE  
THIS DOCUMENT IS IN THE PUBLIC DOMAIN*

OWNER TO VERIFY ALL DETAILS  
IN HOME OWNERS ACCEPTANCE OF THESE TERMS.  
UNLESS OTHER WISE NOTED.  
AS AND EASEMENTS.  
DRAFT. SEE SEPARATE DRAWINGS BY OTHERS