FEE $	10.00
TCP $	0
SIF $	292.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. 83151

Your Bridge to a Better Community

BLDG ADDRESS 2639 Applewood Pl

TAX SCHEDULE NO. 2945-011-04-004

SUBDIVISION Apple Blossom Heights

FILING _____ BLK 1 LOT 4

(1) OWNER Melvin Crawford

(1) ADDRESS 5009 Green River ST Cheyenne Wy. 82001

(1) TELEPHONE 307-631-9462

(2) APPLICANT Kinetia Builders

(2) ADDRESS 713 Lockwood Ct Grand Jct

(2) TELEPHONE 234-5463

SQ. FT. OF PROPOSED BLDGS/ADDITION 2250

SQ. FT. OF EXISTING BLDGS _____

TOTAL SQ. FT. OF EXISTING & PROPOSED 2250

NO. OF DWELLING UNITS:
Before: 0 After: 1 this Construction

NO. OF BUILDINGS ON PARCEL
Before: _____ After: _____ this Construction

USE OF EXISTING BUILDINGS _____

DESCRIPTION OF WORK & INTENDED USE Residential

TYPE OF HOME PROPOSED:
X Site Built ____ Manufactured Home (UBC)
____ Manufactured Home (HUD)
____ Other (please specify) _____

REQUIRED: One plot plan, on 8 ½" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

☞ THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF ☜

ZONE RSF-4

SETBACKS: Front 20' from property line (PL)
or ____ from center of ROW, whichever is greater
Side 7'/8' from PL, Rear 25' from PL

Maximum Height 35'

Maximum coverage of lot by structures 50%

Permanent Foundation Required: YES X NO ____

Parking Req'mt 2

Special Conditions Bldg Dept requires letter on foundation due to soils.

CENSUS _____ TRAFFIC _____ ANNX# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Jenny Davis Date 2/4/02

Department Approval Dayleen Henderson Date 2-6-02

Additional water ~~and~~/or sewer tap fee(s) are required:	YES X	NO	W/O No. 94565
Utility Accounting Debbie Overholt		Date 2/6/02	

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1.c(1) Grand Junction Zoning & Development Code)

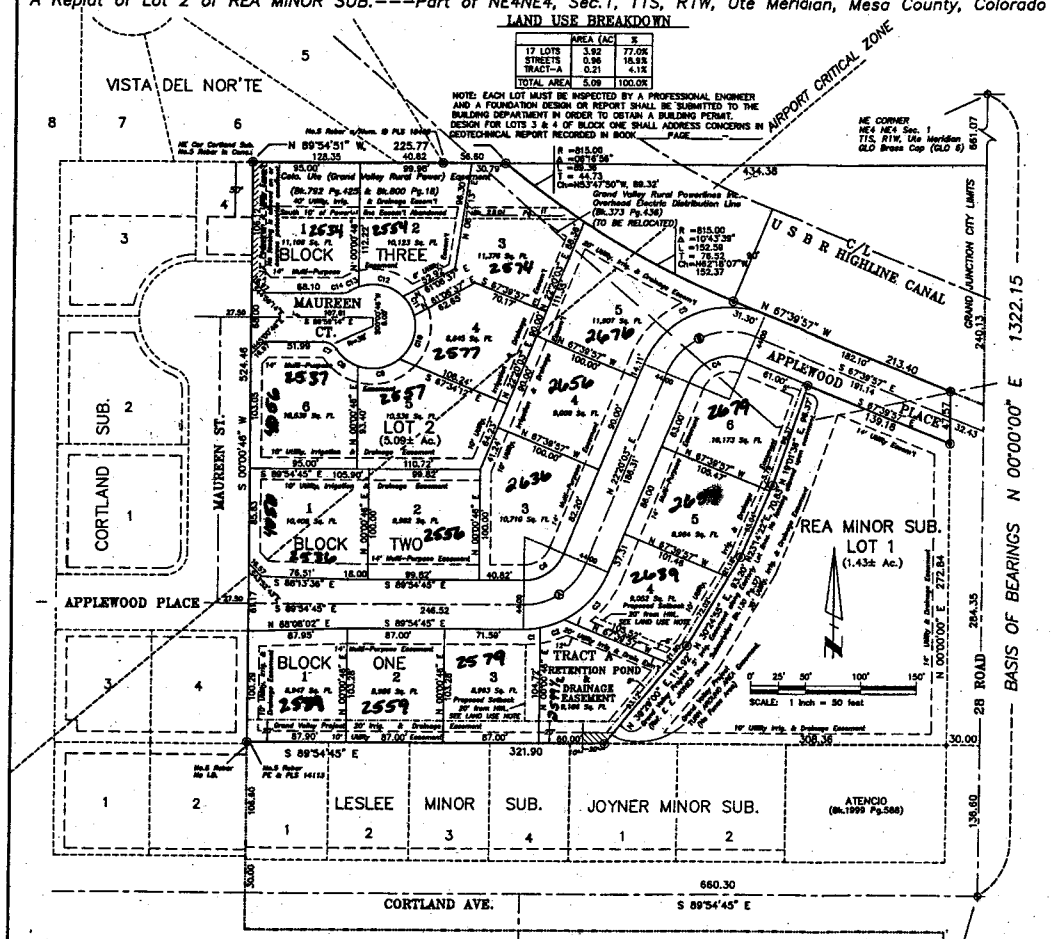
(White: Planning) ***(Yellow: Customer)*** ***(Pink: Building Department)*** ***(Goldenrod: Utility Accounting)***

D

FP-1998-014
TCP-0
SIF 292
RSF-4

APPLE BLOSSOM HEIGHTS

A Replat of Lot 2 of REA MINOR SUB.---Part of NE4NE4, Sec.1, T1S, R1W, Ute Meridian, Mesa County, Colorado



CURVE DATA

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
A	72.13	67°45'12"	61.00	40.85	N56°12'39"E	68.00
B	95.82	90°00'00"	61.00	61.00	N87°20'03"E	86.27
C1	15.50	10°42'00"	83.00	7.77	N84°44'18"E	15.48
C2	23.83	15°56'54"	83.00	11.54	N71°28'18"E	23.68
C3	68.71	47°13'18"	83.00	36.22	N67°20'03"E	66.43
C4	61.26	90°00'00"	38.00	38.00	N67°20'03"E	55.15
C5	130.38	90°00'00"	83.00	83.00	N67°20'03"E	117.38
C6	48.12	67°45'12"	39.00	26.18	N56°12'39"E	43.48
C7	14.03	57°25'18"	14.00	7.67	S81°18'57"E	13.45
C8	25.02	37°43'27"	38.00	12.98	S51°23'39"E	24.57
C9	38.16	58°03'08"	38.00	21.52	N89°11'04"E	37.45
C10	43.42	65°28'17"	38.00	24.43	N17°55'21"E	41.10
C11	20.24	30°31'19"	38.00	10.37	S30°04'27"E	20.00
C12	42.88	64°39'03"	38.00	23.91	S77°30'36"E	40.67
C13	8.29	12°30'20"	38.00	4.18	N61°53'41"E	8.28
C14	7.87	32°12'15"	14.00	4.04	N73°54'39"E	7.77

GRAND JUNCTION CITY LIMITS

COVENANTS AND RESTRICTIONS for APPLE BLOSSOM HEIGHTS are recorded in Book ____ at Pages ____ through ____ of the Mesa County Clerk and Recorder's Office.

AVIGATION EASEMENT covering all of APPLE BLOSSOM HEIGHTS are recorded in Book ____ at Pages ____ through ____ of the Mesa County Clerk and Recorder's Office.

RSF-4 BUILDING SET BACKS

MINIMUM FRONT YARD SETBACK= 45 FT. (From Right-of-way Centerline)
MINIMUM FRONT YARD SETBACK= 20 FT. (From Cul-De-Sac Right-of-way line)
MINIMUM SIDEYARD (Principal Structure) = 7 FT.
MINIMUM SIDEYARD (Accessory Structure) = 3 FT.
NOTE: Setbacks for Lots 3 & 4 of Block One will be determined by foundation design. See Note Above.
MINIMUM REAR YARD (Principal Structure) = 30 FT.
MINIMUM REAR YARD (Accessory Structure) = 10 FT.
MAXIMUM HEIGHT (All Structures) = 32 FT.

LEGEND

- FOUND SECTION CONTROL MONUMENT, AS NOTED
- FOUND NO.5 REBAR W/ I.D. "AS NOTED"
- SET NO.5 REBAR W/ ALUM. I.D. CAP "MAP SURVEYS-PLS 11980"
- MONUMENT SET IN CONCRETE
- CALCULATED POSITION

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That LEO H. WARREN and HELEN WARREN, as Joint Tenants, to an undivided 75% interest and RONALD L. WARREN and DEBORAH M. WARREN, as Joint Tenants to an undivided 25% interest, are the owners of that real property being located in the Northeast Quarter (NE 1/4) Northeast Quarter (NE 1/4) of Section 1, Township 1 South, Range 1 West of the Ute Meridian, said property being LOT 2 of REA MINOR SUBDIVISION in City of Grand Junction, County of Mesa, State of Colorado, evidenced by instrument recorded in Book 2467 at Page 609 of the records of Mesa County Clerk and Recorder

The above LOT 2 of REA MINOR SUBDIVISION contains 5.09 acres, more or less.

That said owners have caused the said real property to be laid out and surveyed as APPLE BLOSSOM HEIGHTS, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado.

That said owners do hereby dedicate and set apart real property shown and labeled on the accompanying plat as follows:

- All Streets, Rights-of-Way & Pedestrian Easements to the City of Grand Junction for the use of the public forever;
- Tract A to Apple Blossom Heights Water and Drainage Company, their successors and assigns, for Irrigation Facilities and Stormwater Retention Site to be maintained by said Company not the City of Grand Junction.
- All Multi-Purpose Easements to the City of Grand Junction for the use of public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines, private irrigation systems, and also for the installation and maintenance of traffic control facilities, street lighting , street trees and grade structures;
- All Utility Easements to the City of Grand Junction for the use of public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines and telephone lines.
- All Irrigation Easements to the owners (Apple Blossom Heights Water and Drainage Company) their successors and assigns as perpetual easements for the installation, operation, maintenance and repair of irrigation facilities.
- All Grand Valley Project Easements to Grand Valley Water Users Association/USA, their successors and assigns, for the installation, operation, and maintenance of Grand Valley Project irrigation facilities.
- All Drainage Easements to the owners (Apple Blossom Heights Water and Drainage Company) as perpetual easements for the conveyance of runoff water which originates within the area hereby platted or from upstream areas, through natural or man-made facilities above or below ground.

All easements include the right of ingress and egress on, along, over, under, and through and across by the beneficiaries, their successors, and assigns, together with the right to trim or remove interfering trees and brush, and in Drainage and Detention/Retention easements, the right to dredge; provided, however, that the beneficiaries of said easements shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden or overburden said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

That said owners do hereby certify that to their knowledge no liens exist against the property being dedicated hereon.

IN WITNESS WHEREOF, said owners have caused their names to be hereunto subscribed this 10 day of October A.D., 1998.

Leo H. Warren — Helen Warren
Ronald L. Warren — Deborah M. Warren

STATE OF COLORADO } ss
COUNTY OF MESA }

The foregoing instrument was acknowledged before me this 19th day of October A.D., 1998 by Leo H. Warren, Helen Warren, Ronald L. Warren, and Deborah M. Warren.

My commission expires 7-15-01
Witness by hand and official seal
Notary Public

CLERK AND RECORDERS' CERTIFICATE

STATE OF COLORADO } ss
COUNTY OF MESA }

I hereby certify that this instrument was filed in my office at 11:57 o'clock A M. this 25 day of NOV A.D. 1998, and is duly recorded in Plat Book No. 16 Page 320 Reception No. 1876245
Drawer BG21
Clerk & Recorder — Deputy — Fees: $

CITY APPROVAL

This plat of APPLE BLOSSOM HEIGHTS, a subdivision of a part of the City of Grand Junction, County of Mesa, and State of Colorado is approved and accepted this 10th day of November A.D., 1998.
City Manager — President of Council

SURVEYOR'S CERTIFICATE

I, Millard Walter Eldridge, a registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey as represented by this plat of APPLE BLOSSOM HEIGHTS, a subdivision of the County of Mesa, was prepared by me or under my direct supervision, responsibility and checking and conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and all applicable state laws and regulations, and that the survey and plat are correct to the best of my knowledge and belief

Millard Walter Eldridge 11980 Oct. 16, 1998
Date of Certification

NOTICE: According to Colorado Law you must commence any legal action based upon any defect in this survey within six years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

BASIS OF BEARINGS is from previous record of REA MINOR SUBDIVISION plat recorded as reception number 1690180 in Plat Bk.14 at Pg.236 in the records of Mesa County Clerk and Recorder. Said Plat establishes the East line of the NE1/4 NE1/4 of Section 1, T1S, R1W, Ute Meridian to bear N 00°00'00" E, 1322.15 feet between the existing Brass Cap monuments.

BENCHMARK is the South East corner of NE4 NE4 of Sec. 1 (T.1 S., R.1 W.) which is located at the intersection of 28 Road & Courtland Ave.. The USGS datum elevation is 4754.43.

$709PLR2

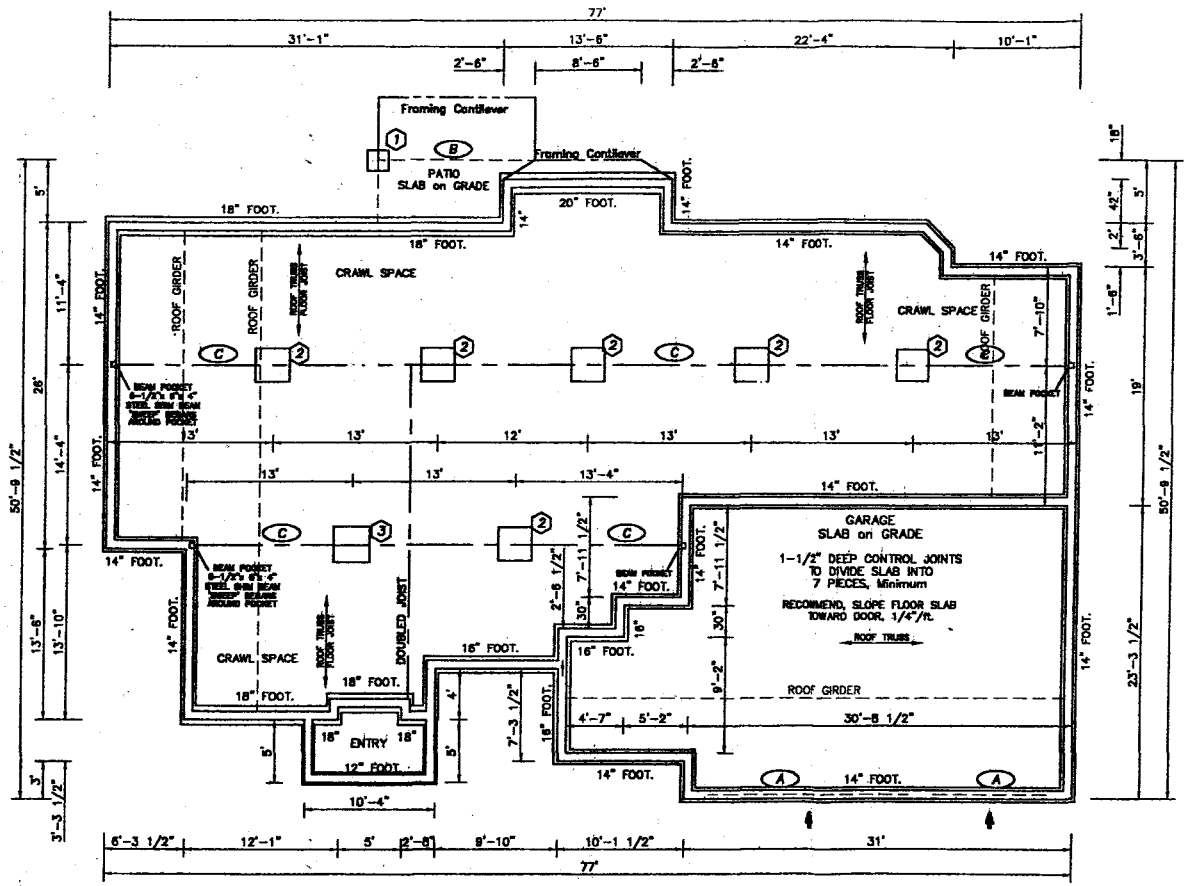
FINAL PLAT

A Replat of Lot 2 of REA MINOR SUB.

APPLE BLOSSOM HEIGHTS
NE4NE4 Sec.1, T1S, R1W, UTE M.
DATE: August 24, 1998 SCALE: 1" = 50'

M.A.P.s INC.
MAPPING — PLANNING — SURVEYING
P.O. BOX 290, MESA, COLORADO 81643
(303)268-5851

2599½ on TRACT A for Pumphouse



PLAN

THE DESIGNER OR CONTRACTOR MUST CHECK ALL DIMENSIONS TO INCLUDE ANY BRICKLEDGES, FRAMING EXTENSIONS/ CANTILEVERS AND INTERIOR SUPPORT POSTS AND PADS.

GARAGE OPENING IN STEMWALL MAY BE DEPRESSED 8" Maximum. MINIMUM DISTANCE BETWEEN UPPER and LOWER REBARS – 16"

FLOOR JOIST & BEAM & PAD SCHEDULE

FLOOR JOISTS TO BE 11 7/8" BCI–450 JOIST @ 16"c/c OR EQUAL FLOOR JOIST PRODUCT

(A) 2 – 1 3/4" x 9 1/2" BCI Versa–Lam 2800 LVL BEAM OR EQUAL BEAM PRODUCT

(B) 2 – 1 3/4" x 11 7/8" BCI Verso–Lam 2800 LVL BEAM OR EQUAL BEAM PRODUCT

(C) W6 x 16 A36 STEEL BEAM OR EQUAL BEAM PRODUCT

(1) 20"x 20"x 20" PAD

(2) 30"x 30"x 10" PAD

(3) 32"x 32"x 10" PAD

FLOOR LIVE LOADING – 40 psf ROOF LIVE LOADING – 30 psf
WIND LIVE LOADING – 80 mph–C SEISMIC SITE CLASS. – C

BEAM SIZES ARE RECOMMENDED – OTHER SIZES ARE POSSIBLE. DESIGN DOES NOT INCLUDE ALL FRAMING SUPPORTS OR CONNECTIONS THIS IS NOT A FRAMING PLAN OR A COMPLETE STRUCTURAL PLAN

SUBSURFACE & SITE CONDITIONS, LIMITATIONS & RECOMMENDATIONS FOR THIS SITE ARE GIVEN IN G.J. LINCOLN DeVORE REPORT #89140 OF THE OPEN EXCAVATION OBSERVATION.
THIS REPORT IS CONSIDERED PART OF THIS FOUNDATION DESIGN.

CAUTION FAILURE TO FOLLOW THE COMPLETE PLAN, ALL DETAILS AND ALL NOTES MAY RESULT IN IMPROPER FOUNDATION PERFORMANCE AND WILL VOID THIS DESIGN.

THE FLOOR SYSTEM MAY REQUIRE 'TIGHTENING' BY CAREFULLY 'JACKING' THE FLOOR BEAMS ABOUT 1/4", IMMEDIATELY PRIOR TO COMPLETING THE INTERIOR FINISHES.

ENGINEERS' CERTIFICATE:
I HEREBY CERTIFY THAT THIS FOUNDATION DESIGN WAS PREPARED BY ME or UNDER MY DIRECT SUPERVISION.

COLORADO REGISTERED EDWARD M. MORRIS 30590 2-1-02 PROFESSIONAL ENGINEER

By:

EDWARD M. MORRIS, Registered Professional Engineer
State of Colorado – Number 30590

Soil Type: ALLUVIAL SILTY CLAY & CLAYEY SAND
12" STRUCTURAL FILL
Soil Bearing: 1400 psf Maximum, 250 psf Minimum

FOUNDATION DESIGN – RESIDENCE
2639 APPLEWOOD PLACE, Grand Junction
KINETIC BUILDERS, Grand Junction

GRAND JUNCTION LINCOLN DeVORE
1441 MOTOR STREET
GRAND JCT., COLORADO
970-242-8968 (fax 970-242-1661)

JOB # 89140-GJ		SHEET 1 OF 2	
DRAWN BY: E. M. MORRIS	SCALE: PLAN – 1"=10'	DATE: 2-1-2002	
CHECKED BY: E. M. MORRIS	FILE # FD89140	REV.	

NOTES FOR NON-EXPANSIVE SOILS

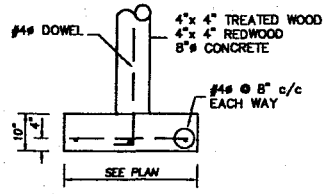
- Dimensions should be taken from architectural plan except for foundation components.
- Reinforcing to be continuous around the building as shown. Minimum lap of reinforcing at splices – 18". No gaps in the reinforcing will be permitted, unless specifically designed. Use Grade 60 steel.
- Bends in reinforcing bars shall not be smaller than 6 bar diameter on the inside radius.
- All backfill shall be compacted to a minimum of 90% of the soils maximum Modified Proctor dry density, ASTM D-1557. The only exception to this will be components of any peripheral drain.
- Excavation shall be observed by Geotechnical Engineer to determine if soils over the building area are the same as those for which the building was designed.
- Reinforcing shall be observed by engineer prior to placing concrete. Structure will be reinforced as shown on plans. No changes in building loads, reinforcing or design shall be made after final inspection.
- Open-graded gravel pad should not be used beneath slab unless well drained.
- Do not use dry wells on site, unless sited and approved by Geotechnical Engineer.
- Foundation concrete shall have a minimum strength of 3000 psi placed with a maximum slump of 5 inches. It shall be made using "Modified" Type II Cement or equal protection, with no Calcium Chloride added.
- Separate interior and exterior slabs from all structural portions of building with expansion joint or folded polyethylene film.
- Prior to backfilling procedures, foundation walls should be allowed to cure a minimum of 7 days and be adequately supported by floor systems or other bracing.
- Refer to the soils letter for peripheral drain recommendations.
- *PLASTIC MEMBRANE (Vapor Barrier) Must Not Be Placed On Crawlspace Ground Surface Unless SPECIFICALLY Allowed By And Any Installation Directed By the Foundation Design Engineer or the Geotechnical Engineer. See Soils Letter.*
- *Water shall not be allowed to stand or pond within 15' of the building during or after construction, except at the specific direction of the Geotechnical Engineer. Backfill shall not be flooded, soaked or jetted during or after construction.*
- *Roof drains shall be carried away from the building at least 5' past any backfill and not allowed to soak the foundation soils.*

UNDERGROUND PIPING MAY BE REQUIRED TO PROPERLY REMOVE ROOF DOWNSPOUT DISCHARGES.

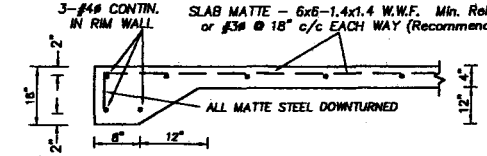
- *Planters, if any, should be well-sealed and drained.*
- *Surface drainage should be positive and rapid in directions away from the building at all points. The yard within 10' of the structure and all backfill to be sloped away from the structure at a minimum gradient of 8%.*

NOTES FOR STRUCTURAL FILL SOIL IMPROVEMENT

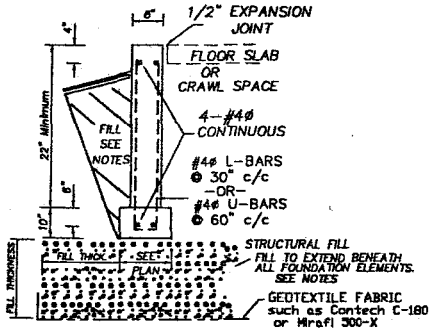
- THE UPPER 12" OF THE SOILS IN THE EXCAVATION ARE TO BE SCARIFIED AND COMPACTED.
- ANY existing low-density soil should be removed from below the proposed bottom footing elevation and the open excavation closely examined for adequate over-excavation and exposure of proper bearing soils. Upper 8" of the subgrade soils are to be moisture-conditioned and compacted to a minimum of 90% of the soils maximum Modified Proctor dry density (ASTM D-1557.)
- Replace all unsuitable soils with preapproved native soils or import a coarse-grained, non-expansive, non-freedraining, man-made structural fill and place in the overexcavated portion of the site.
- Place structural fill in lifts not to exceed 6 inches after compaction.
- The structural fill should be compacted to a minimum of 90% of the soils maximum Modified Proctor dry density (ASTM D-1557) and placed at a moisture content conducive to the required compaction (Proctor optimum moisture ±2%.)
- The structural fill must be brought to the required density by mechanical means. No uncontrolled soaking, jetting or puddling techniques should be used, unless specifically directed by the Geotechnical Engineer.
- Surface density tests should be taken at maximum 2 foot intervals to confirm the quality of the compacted fill product.
- The placement of a geotextile fabric for separation between the native soils and structural fill may be required by the Engineer.



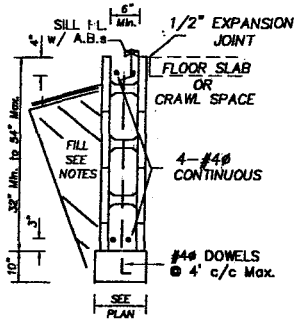
DECK PAD



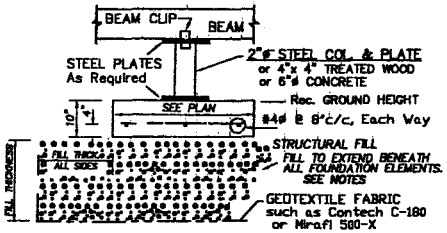
OPTIONAL PORCH/PATIO EDGE SECTION
USE STRUCTURAL SLAB ONLY IF UNDERLAIN BY COMPACTED GRANULAR STRUCTURAL FILL.



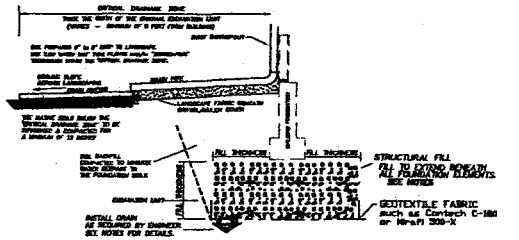
FOOTING at SHORT WALL
STRUCTURAL FILL



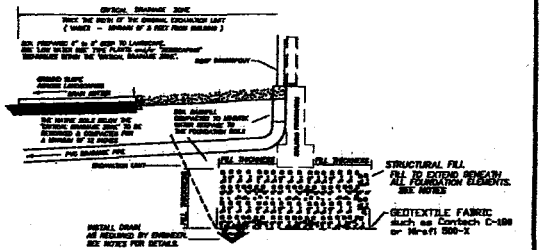
FOOTING at SHORT WALL
'FOAM BLOCK' SYSTEM



CRAWL SPACE PAD
STRUCTURAL FILL



DRAINAGE / LANDSCAPING CONCEPT
'NO WATER ZONE' BY FOUNDATION



DRAINAGE / LANDSCAPING CONCEPT
'NO WATER ZONE' BY FOUNDATION

ENGINEERS' CERTIFICATE:

I HEREBY CERTIFY THAT THIS FOUNDATION DESIGN WAS PREPARED BY ME or UNDER MY DIRECT SUPERVISION.

COLORADO REGISTERED EDWARD M. MORRIS 30590 2-1-02 PROFESSIONAL ENGINEER

By:

EDWARD M. MORRIS, Registered Professional Engineer
State of Colorado – Number 30590

Soil Type: ALLUVIAL SILTY CLAY & CLAYEY SAND
12" STRUCTURAL FILL

Soil Bearing: 1400 psf Maximum, 250 psf Minimum

FOUNDATION DESIGN – RESIDENCE
2639 APPLEWOOD PLACE, Grand Junction
KINETIC BUILDERS, Grand Junction

GRAND JUNCTION LINCOLN DeVORE	1441 MOTOR STREET GRAND JCT., COLORADO 970-242-8968 (fax 970-242-1561)	
	JOB # 89140-GJ	SHEET 2 OF 2
DRAWN BY: E. M. MORRIS	SCALE:	DATE: 2-1-2002
CHECKED BY: E. M. MORRIS	FILE # FD89140	REV.