

FEE \$	10.00
TCP \$	500.00
SIF \$	292.00

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. 84092



Your Bridge to a Better Community

BLDG ADDRESS 2893 Seneca Ct SQ. FT. OF PROPOSED BLDGS/ADDITION _____
 TAX SCHEDULE NO. 2943-064-36-008 SQ. FT. OF EXISTING BLDGS. NONE
 SUBDIVISION Indian Wash TOTAL SQ. FT. OF EXISTING & PROPOSED 127
 FILING 2 BLK 1 LOT 8 NO. OF DWELLING UNITS:
 Before: 0 After: 1 this Construction
 (1) OWNER Grace Hones NO. OF BUILDINGS ON PARCEL
 Before: 0 After: 1 this Construction
 (1) ADDRESS 786 Vally Ct USE OF EXISTING BUILDINGS None
 (1) TELEPHONE 523 5555 DESCRIPTION OF WORK & INTENDED USE New Drive
 (2) APPLICANT Grace Hones TYPE OF HOME PROPOSED:
 (2) ADDRESS 786 Vally Ct Site Built _____ Manufactured Home (UBC)
 (2) TELEPHONE 523 5555 _____ Manufactured Home (HUD)
 _____ Other (please specify) _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD Maximum coverage of lot by structures 35%
 SETBACKS: Front 14' None 20' garage from property line (PL) Permanent Foundation Required: YES NO _____
 or _____ from center of ROW, whichever is greater
 Side 10' from PL, Rear 5' from PL Parking Req'mt 2
 Maximum Height 35' 32' Special Conditions _____
 CENSUS 10 TRAFFIC 22 ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

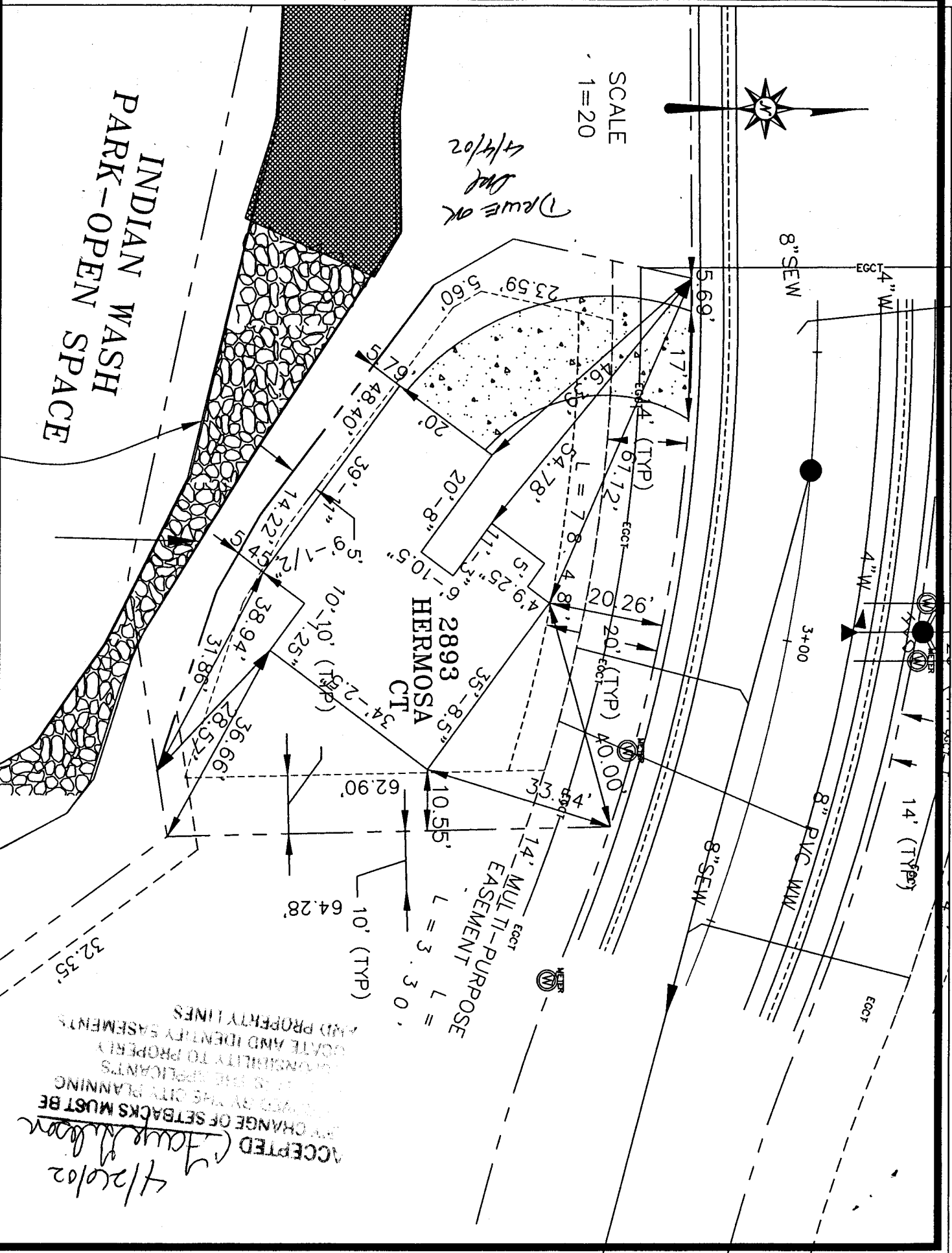
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature _____ Date 3/10/02
 Department Approval C. Faye Jensen Date 4/26/02

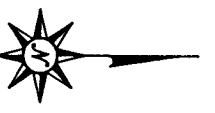
Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO	W/O No. <u>14802</u>
Utility Accounting	<u>J. Shupe</u>	Date	<u>4/26/02</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1.c(1) Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

INDIAN WASH
PARK - OPEN SPACE



SCALE
1"=20'



*Drawn by
4/4/02*

HERMOSA
CT 2893

14' MULTI-PURPOSE
EASEMENT

L = 3.30

ACCEPTED
Chavez Wilson
4/20/02

ALL CHANGES OF SETBACKS MUST BE
APPROVED BY THE CITY PLANNING
DEPARTMENT. THE APPLICANTS
WARRANT THE ORIGINALITY TO PROPERTY
LOCATE AND IDENTIFY EASEMENTS
AND PROPERTY LINES