

FEE \$	10.00
TCP \$	None
SIF \$	292.00

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. 87593



Your Bridge to a Better Community

BLDG ADDRESS 376 HIGH DESERTED SQ. FT. OF PROPOSED BLDGS/ADDITION 2272
 Parent 2945-201-00-007
 TAX SCHEDULE NO. _____ SQ. FT. OF EXISTING BLDGS _____

SUBDIVISION REDLANDS MESA #1 TOTAL SQ. FT. OF EXISTING & PROPOSED 2272

FILING 1 BLK 6 LOT 14 NO. OF DWELLING UNITS:
 Before: 0 After: 1 this Construction
 NO. OF BUILDINGS ON PARCEL
 Before: 0 After: 1 this Construction

(1) OWNER KENT & STACEY MARSH
 (1) ADDRESS 2843 OXFORD AVE #A
GRAND JCT, 81503
 (1) TELEPHONE 243-8560

(2) APPLICANT _____
 (2) ADDRESS _____
 (2) TELEPHONE 243-8560

USE OF EXISTING BUILDINGS _____
 DESCRIPTION OF WORK & INTENDED USE CONST. NEW HOME

TYPE OF HOME PROPOSED:
 Site Built _____ Manufactured Home (UBC)
 _____ Manufactured Home (HUD)
 _____ Other (please specify) _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD Maximum coverage of lot by structures 35%

SETBACKS: Front 20' from property line (PL) Permanent Foundation Required: YES NO _____
 or _____ from center of ROW, whichever is greater

Side 7' from PL, Rear 20' from PL Parking Req'mt 2

Maximum Height 32' Special Conditions _____

CENSUS 1401 TRAFFIC 96 ANNEX# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 12/24/02
 Department Approval [Signature] Date 12/23/02

Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO	W/O No. <u>15585</u>
Utility Accounting <u>[Signature]</u>	Date <u>12/24/02</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

General Notes

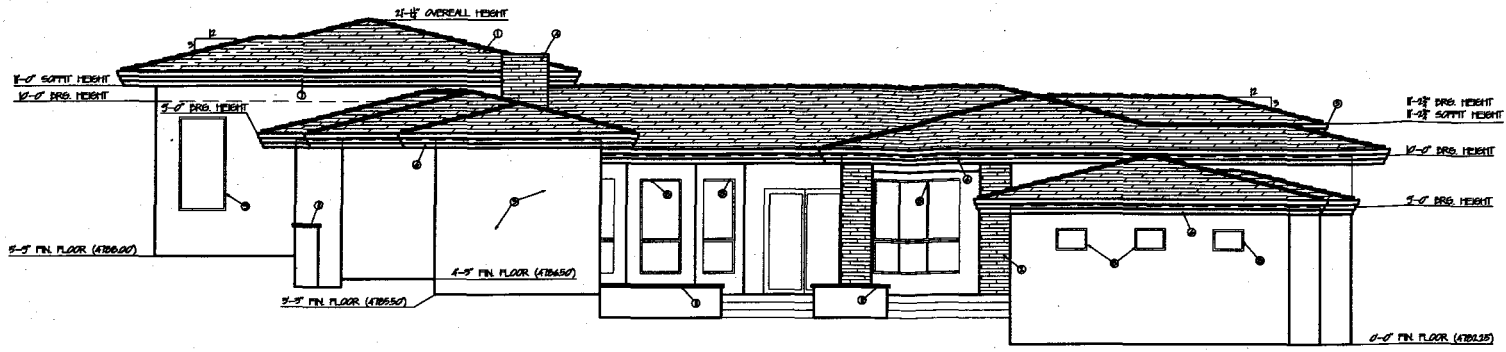
1. INSTALL RECESSED GLASSY ROOF TILE PER MANUFACTURER'S SPECIFICATIONS (WESTLAND BLEND) (SEE PART 1).
2. INSTALL INSULATION BOARD PER MANUFACTURER'S SPECIFICATIONS (BULLDOG GREEN, WEATHERED EXPOSED FIBER-GLASS PRODUCT) (SEE PART 1).
3. INSTALL INSULATION BOARD (1/2" HEAVY DUTY FLOW TIGHTNESS - BROWN SLIP COLOR, R. KEY PRODUCT) (SEE PART 1).
4. CONSTRUCT 2" x 4" TALL x 4" x 8" CORNER.
5. CONSTRUCT TRUSS PER DETAIL A.
6. CONSTRUCT TRUSS PER DETAIL B.
7. CONSTRUCT TRUSS PER DETAIL C.
8. INSTALL RECESSED WINDOW 1'-0" BELOW THE TOP FLUTE/ROOFING HEIGHT. WINDOW SHALL BE RECESSED INTO THE 2" x 4" EXTERIOR FRAMING PER DETAIL D.
9. INSTALL RECESSED WINDOW 1'-0" BELOW THE TOP FLUTE/ROOFING HEIGHT. WINDOW SHALL BE RECESSED INTO THE 2" x 4" EXTERIOR FRAMING PER DETAIL E.
10. INSTALL RECESSED WINDOW 1'-0" BELOW THE TOP FLUTE/ROOFING HEIGHT. INSTALL WINDOW ON 2" x 4" EXTERIOR FRAMING PER DETAIL E.
11. CONSTRUCT ENCLOSURE FOR AIR CONDITIONING UNIT. ENCLOSURE SHALL BE 4" TALL x 1" WIDE. PLACE A @ THEIR HEIGHT/THICKNESS ALONG THE TOP EDGE.
12. CONSTRUCT 2" TALL CONCRETE RETAINING WALL. WALL SHALL BE RECESSED INTO TOP MATERIAL BEHIND WINDOW. PLACE A @ THEIR HEIGHT/THICKNESS ALONG THE TOP EDGE.
13. EXTERIOR BRICK AND CONCRETE PER WALL.

No.	Revision/Issue	Date

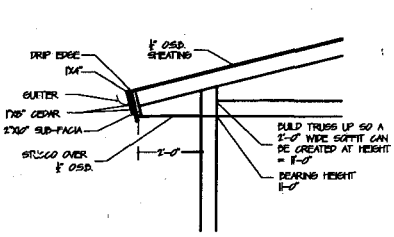
Draw Name and Address
MARSH CONSTRUCTION
 2843 OXFORD AVE. UNIT #A
 GRAND JCT., CO 81503

Project Name and Address
 376 High Desert Rd.

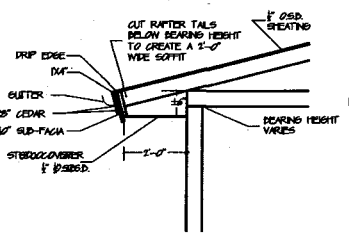
Sheet
ELEVATION 2
 of 8
 Scale 1/4" = 1'



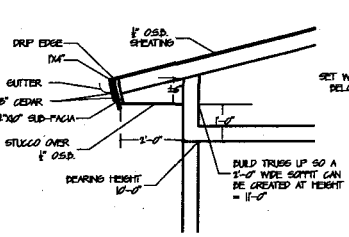
LEFT



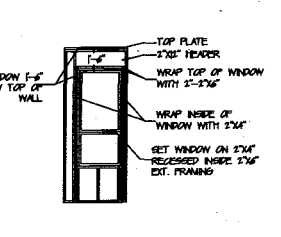
DETAIL A



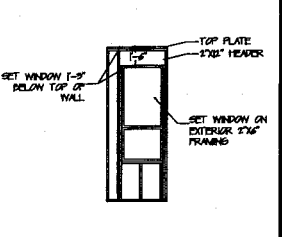
DETAIL B



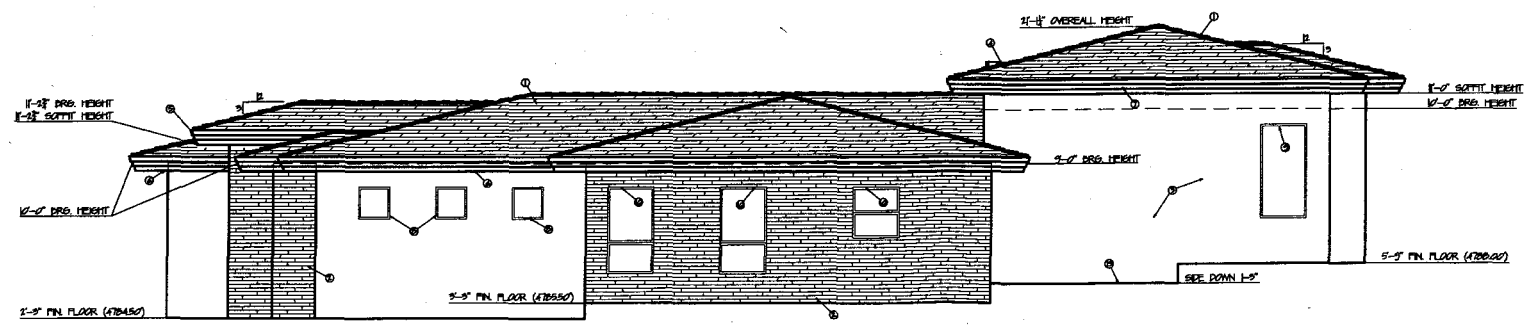
DETAIL C



DETAIL D

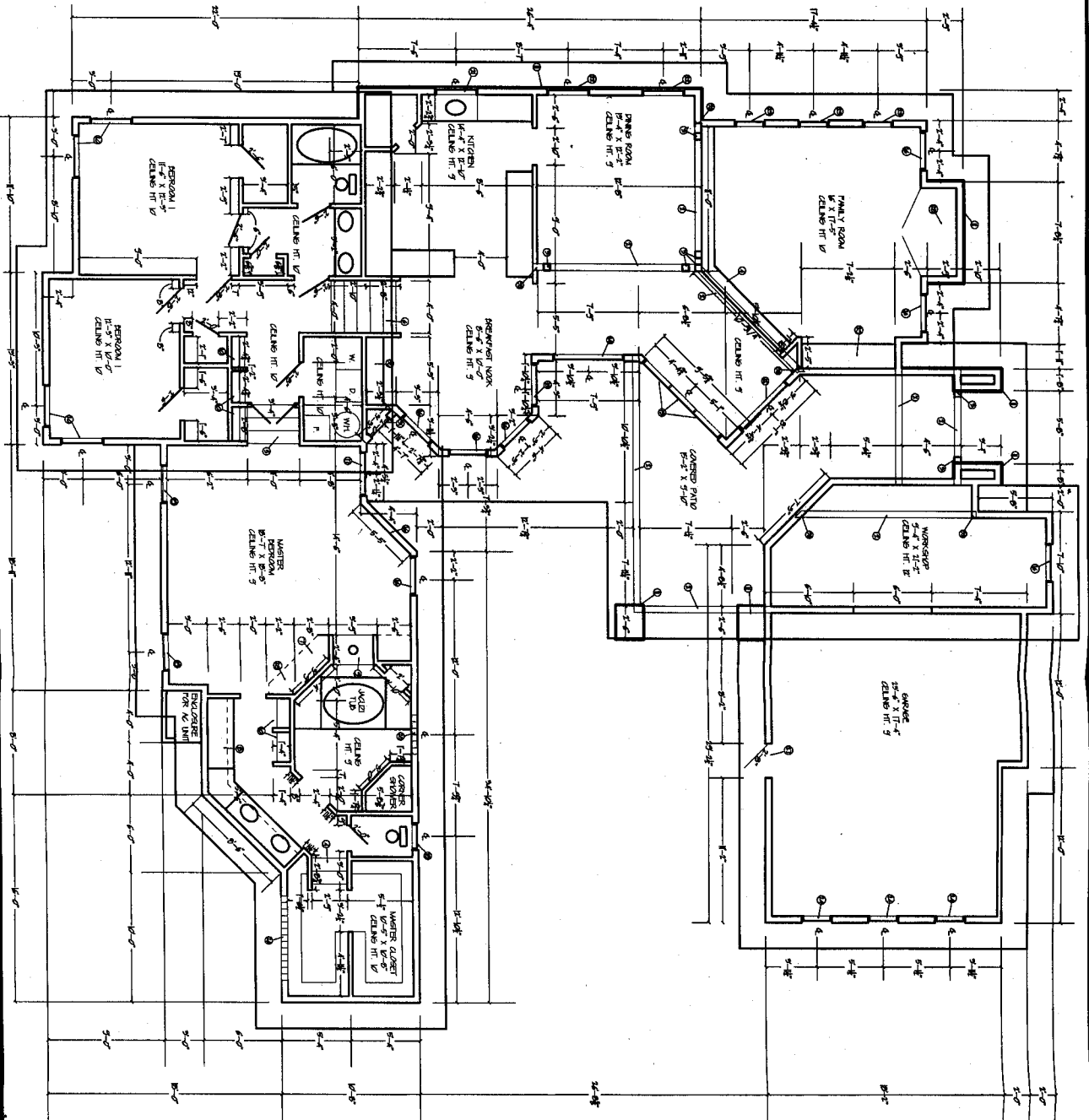


DETAIL E



RIGHT

AREA TABULATIONS
 LIVING: 2276 SF
 DINING: 669 SF
 KITCHEN: 363 SF
 ENTRY: 100 SF



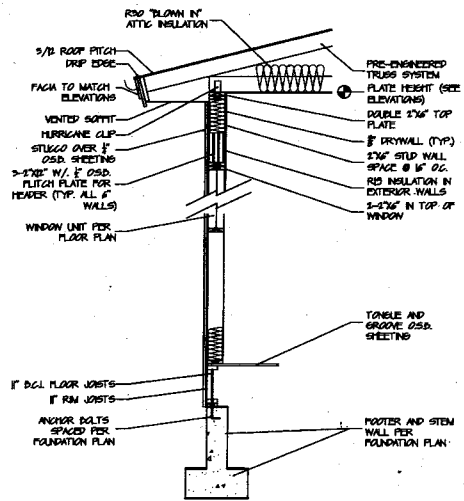
- General Notes
1. ALL INTERIOR FINISHES TO BE AS SHOWN ON THIS SET.
 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 4. FINISHES TO BE DETERMINED BY THE ARCHITECT.
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 16. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 17. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 18. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 19. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 20. FINISHES TO BE DETERMINED BY THE ARCHITECT.

No.	Revision/Name	Date

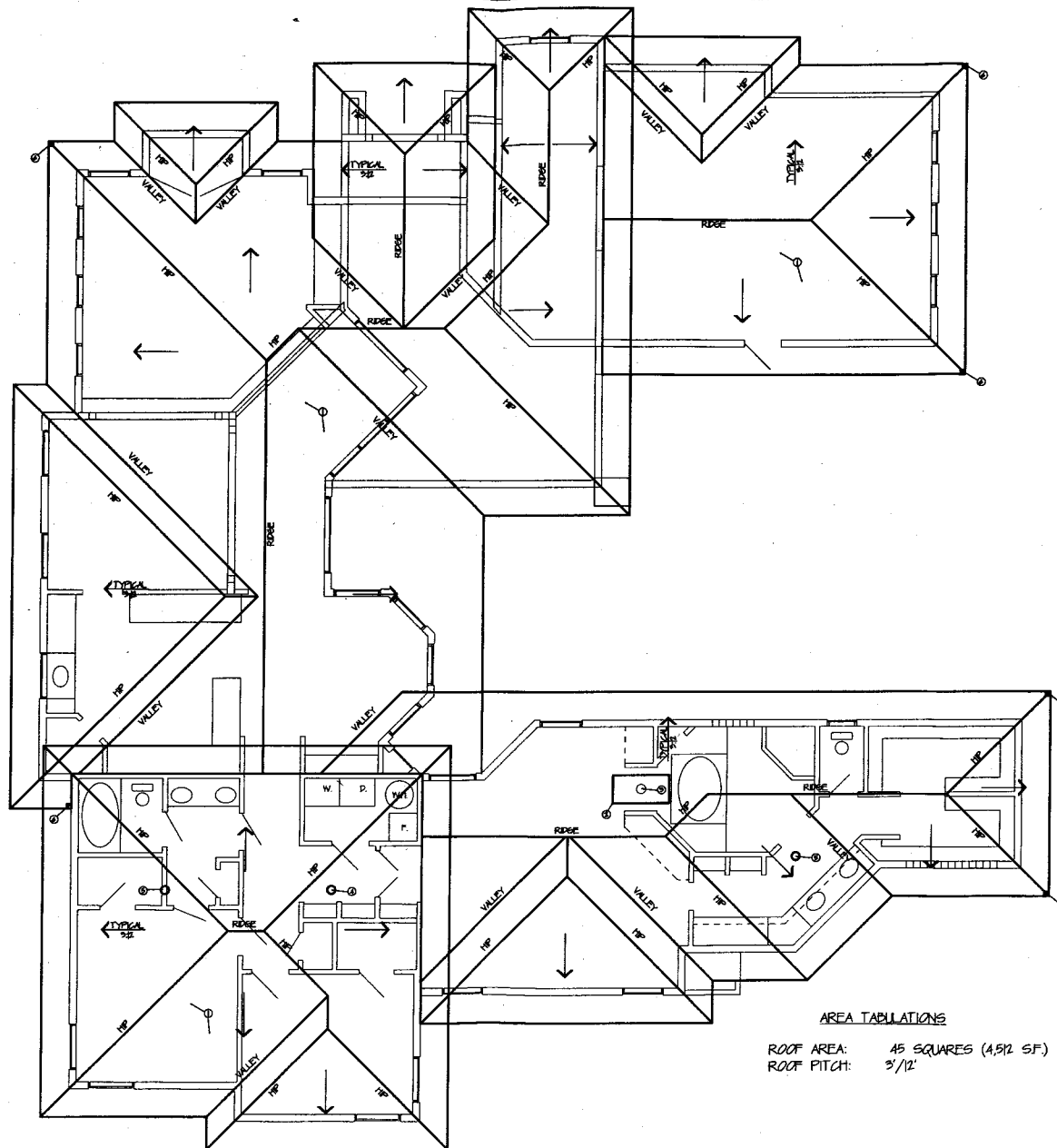
Prepared by and for:
MARSH CONSTRUCTION
 2843 OXFORD AVE. UNIT #A
 GROUND JCT., CO 81503

Project Name and Address:
 376 High Desert Rd.

FLOOR 3 of 8
 Scale: 1/8" = 1'



TYP. WALL SECTION



AREA TABULATIONS

ROOF AREA: 45 SQUARES (4,512 SF.)
 ROOF PITCH: 3/12

General Notes

1. INSTALL SHINGLED GAMBREL ROOF TILE PER MANUFACTURERS SPECIFICATIONS (SHUTLAND ALSO SEE SPEC (TYP))
2. CONSTRUCT 2" TALL X 4" W GAMBREL
3. INSTALL CHIMNEY DUCT FOR BATH PRELARGE
4. INSTALL CHIMNEY DUCT FOR RANGE AND HOT WATER HEATER
5. INSTALL VENT PIPE
6. INSTALL DOWNSPOUT

No.	Revision/Issue	Date

Draw Name and Address
 MARSH CONSTRUCTION
 2843 OXFORD AVE. UNIT #A
 GRAND JCT., CO 81503

Project Name and Address
 376 High Desert Rd.

Sheet	ROOF FRAMING	6
Date		of
Scale	3/8" = 1"	8