

Planning \$ <u>APPL App</u>	Drainage \$ <u>0</u>
TCP \$ <u>0</u>	School Impact \$ <u>0</u>

BLDG PERMIT NO.
FILE # <u>MSP-2005-034</u>

## PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)

### Grand Junction Community Development Department

9/492 - 8165

THIS SECTION TO BE COMPLETED BY APPLICANT

BUILDING ADDRESS 550 Patterson Rd  
 SUBDIVISION Fairmont Heights  
 FILING \_\_\_\_\_ BLK \_\_\_\_\_ LOT 5+6

TAX SCHEDULE NO. 2945-023-14-006  
 SQ. FT. OF EXISTING BLDG(S) 8097  
 SQ. FT. OF PROPOSED BLDG(S)/ADDITONS 8637

OWNER Ben Carnes  
 ADDRESS 2499 Hwy 6+50  
 CITY/STATE/ZIP Grand Jct, CO 81505

**MULTI-FAMILY:**  
 NO. OF DWELLING UNITS: BEFORE \_\_\_\_\_ AFTER \_\_\_\_\_  
 CONSTRUCTION  
 NO. OF BLDGS ON PARCEL: BEFORE \_\_\_\_\_ AFTER \_\_\_\_\_  
 CONSTRUCTION

APPLICANT Bidmore Enterprises, Inc.  
 ADDRESS 1548 W Independent Ave #4  
 CITY/STATE/ZIP Grand Jct, CO 81505

USE OF ALL EXISTING BLDG(S) \_\_\_\_\_

TELEPHONE 970-242-7444 change

DESCRIPTION OF WORK & INTENDED USE: medical offices. - exterior aesthetic  
adding entryways / foyer no real office

*Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.*

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE B-1  
 SETBACKS: FRONT: 15' from Property Line (PL) or  
 from center of ROW, whichever is greater  
 SIDE: 0' from PL REAR: 15' from PL  
 MAX. HEIGHT 40'  
 MAX. COVERAGE OF LOT BY STRUCTURES FAR 0.50

LANDSCAPING/SCREENING REQUIRED: YES  NO \_\_\_\_\_  
 PARKING REQUIREMENT: Per Site Plan  
 SPECIAL CONDITIONS: \_\_\_\_\_

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature [Signature]  
 Department Approval [Signature]

Date 3/23/05  
 Date 5/19/05

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>No change in use</u>
Utility Accounting <u>[Signature]</u>			Date <u>5/19/05</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning and Development Code)

(White: Planning)    (Yellow: Customer)    (Pink: Building Department)    (Goldenrod: Utility Accounting)

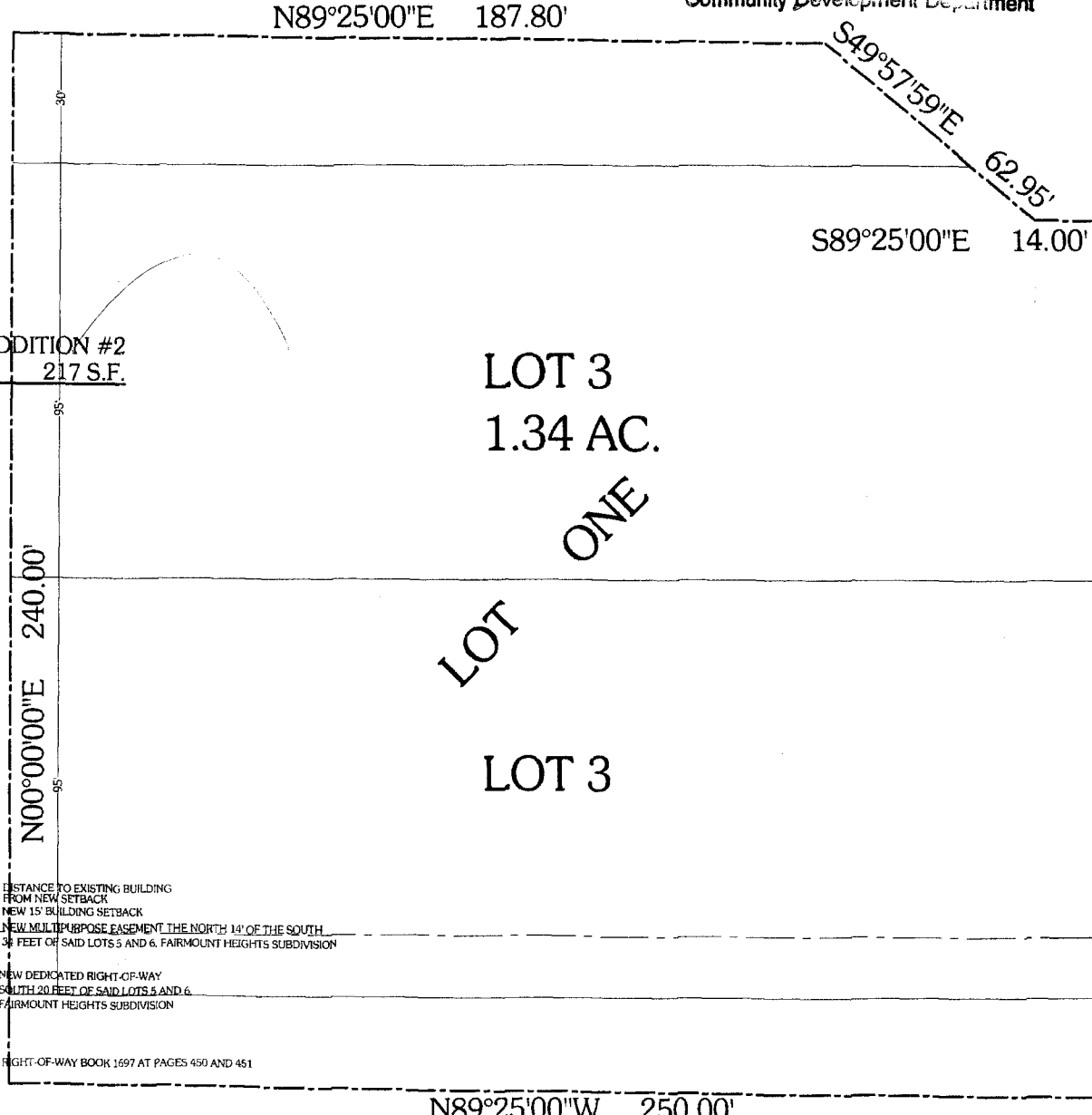
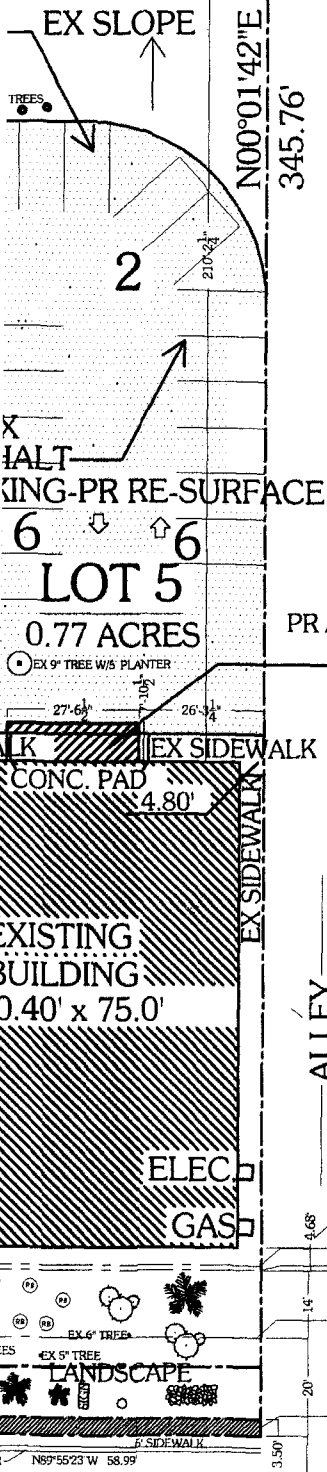
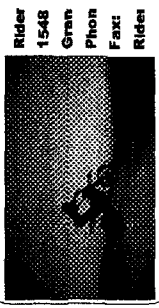
# FAIRMOUNT HEIGHTS SUBDIVISION

APPROVED FOR CONSTRUCTION

*Laura C. Lambert* 5-19-05  
 Community Development Department Date

APPROVED FOR CONSTRUCTION

*Scott J. Castello* 5/19/05  
 Community Development Department Date



NORTH 7TH STREET

**550 PATTERSON**  
**LOT-5&6 FAIRMOUNT HEIGHTS SUB.**

**REVISIONS:**

LAND USE-SQ. FT.
ADD (PR) SHRUBS
3-23-05
5-2-05
5-16-05
5-19-05

**DRAWING BY:**  
 KEITH DAVIS

**PLAN DATE:**  
 2-9-05