

FEE \$	10.00
TCP \$	
SIF \$	

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____



Your Bridge to a Better Community

BLDG ADDRESS 2449 Perona Ct ~~2945-072-32-001~~ SQ. FT. OF PROPOSED BLDGS/ADDITION Approx 1530 Sq Ft

TAX SCHEDULE NO. 2945-072-32-001 SQ. FT. OF EXISTING BLDGS Approx 5700 Sq Ft

SUBDIVISION Bogart Subdivision TOTAL SQ. FT. OF EXISTING & PROPOSED Approx 6630 Sq Ft

FILING UH BLK UH LOT 5A NO. OF DWELLING UNITS:
 Before: 1 After: 0 this Construction

(1) OWNER Jack Bogart NO. OF BUILDINGS ON PARCEL
 Before: 1 After: 2 this Construction

(1) ADDRESS 2249 Perona Ct USE OF EXISTING BUILDINGS Single Family Home

(1) TELEPHONE _____ DESCRIPTION OF WORK & INTENDED USE Detached Garage

(2) APPLICANT Dossey Custom Homes TYPE OF HOME PROPOSED:
 Site Built _____ Manufactured Home (UBC)
 _____ Manufactured Home (HUD)
 _____ Other (please specify) _____

(2) ADDRESS P.O. Box 40483 G.J.

(2) TELEPHONE 986-1783

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF-2 Maximum coverage of lot by structures 30%

SETBACKS: Front 25' from property line (PL) Permanent Foundation Required: YES NO _____
 or _____ from center of ROW, whichever is greater

Side 3' from PL, Rear 5' from PL Parking Req'mt _____

Maximum Height 35' Special Conditions _____

CENSUS _____ TRAFFIC _____ ANN# _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include, but not necessarily be limited to non-use of the building(s).

Applicant Signature Robert Dery Date 2-8-05

Department Approval B Paulson Date 2-8-05

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. _____
Utility Accounting	<u>D Overholt</u>	Date	<u>2/8/05</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

2249 Perona Ct
Grand Jet, Co 81509

Bogart Subdivision

Lot 5A

Setbacks for Residence

Front 25' Sides 5'

Back 20'

ACCEPTED

Blawie 2/8/05

ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPARTMENT. PLEASE CONTACT THE CITY PLANNING DEPARTMENT TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

39'04" Existing House

Side 39'04"

167'49"

34'
15'
PURPOSE DESTROYED GARAGE

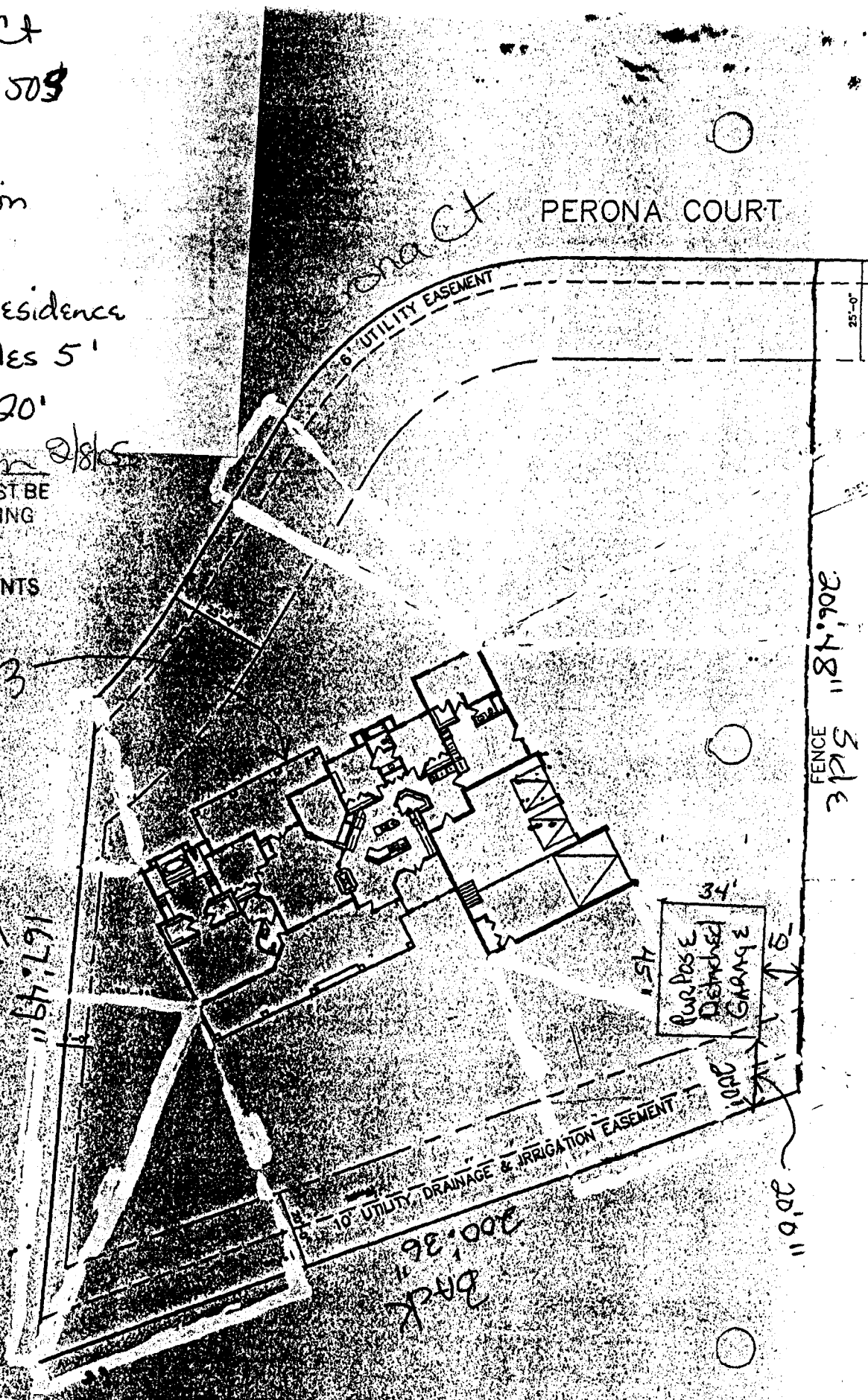
10' UTILITY, DRAINAGE & IRRIGATION EASEMENT

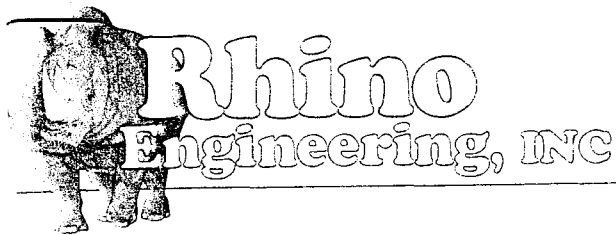
BACK 300'36"

11'00"

FENCE 31'00" SIDE 306'18" 118'90"

PERONA COURT





1334 Ute Avenue • Grand Junction, Colorado 81501
(970) 241-6027 • Fax: (970) 256-7992

July 24, 2003

Bob Lee
Mesa County Building Official
Mesa County
750 Main Street
Grand Junction, CO 81501

RECEIVED

JUL 29 2003

MESA COUNTY
PLANNING DEPARTMENT

Re: **Finished Floor Elevations**
Mountain Acres Subdivision
563 22½ Road
Grand Junction, CO

Dear Bob,

Mountain Acres Subdivision is a five (5) lot single-family residential subdivision. The infrastructure was completed last fall and the final project closeout is nearing completion with Mesa County.

A "Top of Foundation" Tabulation for the lots within Mountain Acres Subdivision includes:

<u>Benchmark</u>	<u>Location</u>	<u>Coordinate</u>	<u>Elevation</u>
JSC Pt # 48	MCBC SE Cor NW1/4 Sec 7 T1S, R1W U.M.	N5000.00 E5000.00 (assumed)	4654.80
JSC Pt #40	Found Rebar	N5824.33 E4942.98	4651.02

<u>Lot No.</u>	<u>Recommended Minimum Top of Foundation</u>	<u>Recommended Maximum Top of Foundation</u>
1	4655.00	4657.00
2	See Exception	
3	4656.00	4658.00
4	4655.50	4657.50
5	See Exception	

Top of foundation elevations for Lots 2 and 5 are excluded from the above minimum elevations. Lot 5 includes an existing home and the structure foundation for Lot 2 was recently completed.

In addition to the above minimum and maximum top of foundation elevations, an engineered stamped/sealed drainage plan is required for Lots 1, 3, and 4 for onsite retention of stormwater. According to the approved plans by Mesa County, retention is required for roof drainage from each lot. Retention shall be provided via a drain field (conventional perforated pipe/drain rock, stormwater chambers, or other approved method) for stormwater draining from the roof area.

249 Pelona Ct

Basement Subdivision

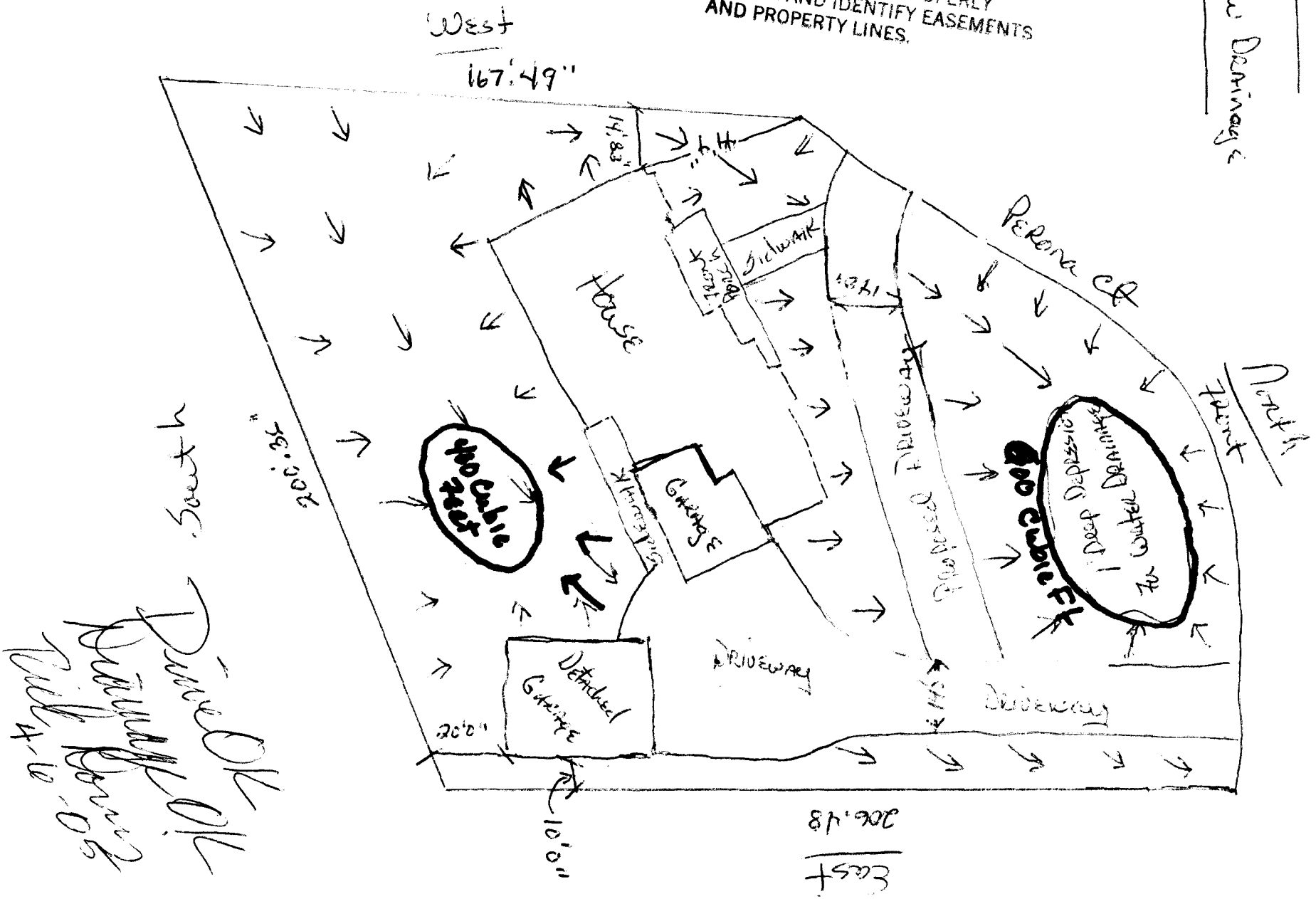
Lot 5A

Addresses show Drainage

Revised & Updated

Clay Hall 4/16/05

ACCEPTED ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



South
200'35"
Drainage OK
Drainage OK
Full 4-10-05

Memo to file

April 5, 2005

Responded to an April 1, 2005 letter from Jack Bogart to visit the site at 2249 Perona court to inspect drainage. City is requiring drainage improvements on the lot to be performed prior to CO.

No lot grading had been performed and no gravel sump was installed. Talked to Jack Bogart, the owner, and told him I would review the project file and determine what the options are.

On way to truck, John Giancanelli confronted me. He started to rant and rave about how the gravel sump was expensive and how he was "jacked around" by the City of many months. I stopped him and told him I would review the file.

Upon file review and phone conversation with John Kornfeld of Rhino, drainage engr. For project, I determined that the lot needs about 1000 CF of retention volume. This can be a depression in the front yard.

I called Jack Bogart on his cell at 270-4300. Told him that 1000 CF is roughly 30' by 30' by 12" deep. Told him that he needs to account for the volume that will be displaced by landscaping cobble. Suggested he make it 50' by 50' around 12" deep and that they should grade most of the lot and the house to drain to the pond. The east side of the lot where the shop and drive drain can go to the street. Told Jack to call me when he has the grading done and I will re-inspect.

BOBBY DORSEY

986-1783

Rick
—
This is
your

270 4300

Jack Bogart
549 Bogart Lane
Grand Junction, Colorado 81505

970-257-9319
FAX 970-257-9419



April 01, 2005

Laura C. Lamberty
Grand Junction, Colorado 81505

Laura,

This letter is a request to have you inspect the drainage at 2249 Perona Ct. on the Redlands.

Thank You,



Jack Bogart