

FEE \$ 10.00
TCP \$ 1539.00
SIF \$ 460.00

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 128 Dry Creek Rd
 Parcel No. 2943-324-13-D2
 Subdivision Red Tail Ridge
 Filing 1 Block 2 Lot 12

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 3596
 Sq. Ft. of Lot / Parcel 9356
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface
 (Total Existing & Proposed) 3596
 Height of Proposed Structure 28.5 (includes Basement)

OWNER INFORMATION:

Name Ridemore Enterprises
 Address 703 23rd/10 Rd
 City / State / Zip Grand Jct CO 81505

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name Ridemore Enterprises
 Address 703 23rd/10 Rd
 City / State / Zip Grand Jct CO 81505
 Telephone 242-2444

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>RSF-4</u>	Maximum coverage of lot by structures <u>40%</u>
SETBACKS: Front <u>20'</u> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
Side <u>7'</u> from PL Rear <u>25'</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35'</u>	Special Conditions <u>Engineered foundation required</u>
Voting District <u>E</u> Driveway Location Approval <u>M</u> (Engineer's Initials)	<u>site specific grading & drainage plan needed</u>

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 5/9/06
 Department Approval NA Adam [Signature] Date 5-11-06 6/6/06

Additional water and/or sewer tap fee(s) are required: <input checked="" type="radio"/> YES <input type="radio"/> NO <input type="radio"/> W/O No <u>MSD TAP #4934</u>
Utility Accounting <u>[Signature]</u> Date <u>6-6-06</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

LOT 12
9356 SQ.FT.
BLOCK 2

T.O.F. 4" ABOVE CENTER
OF WEST CURB

HOUSE-3596 SQ. FT.
GARAGE-667 SQ. FT.



DRAINAGE

SETBACKS
20' Front
25' Rear
7' Sides

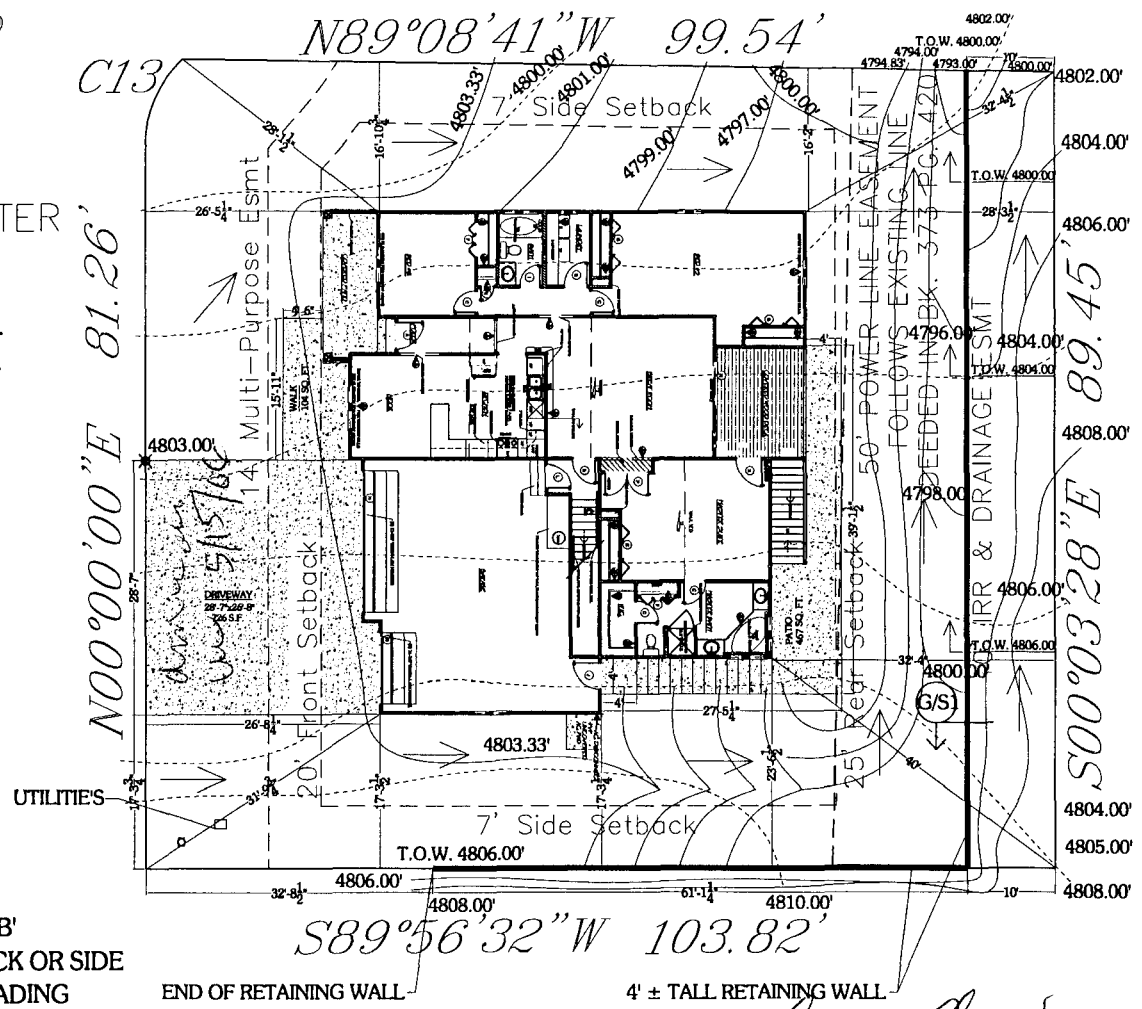
PLOT PLAN

scale: 1"=10'-0"

TYPICAL LOT GRADING TYPE 'B'
"COMBINATION FRONT TO BACK OR SIDE
TYPE 'B' MODIFIED B2 LOT GRADING
*NO FOUNDATION DRAIN REQUIRED
UNLESS OPEN EXCAVATION
OBSERVATION DEEMS IT NECESSARY

PROPOSED CONTOUR INTERVALS = 2'

EXISTING CONTOUR INTERVALS = 2'



END OF RETAINING WALL

4' ± TALL RETAINING WALL

AGC NA *Adam Rose*
MELINA ROSE
REGISTERED PROFESSIONAL ENGINEER
LOCAL 1000
AND PROFESSIONAL SURVEYOR



128 DRY CREEK ROAD
RED TAIL RIDGE LOT-12/BLOCK-2
#1798 W/FULL BASEMENT

REVISIONS:
DRAWING BY: MELINA ROSE
PLAN DATE: 4-26-06
P1

LOT 12
9356 SQ.FT.
BLOCK 2

T.O.F. 2' ABOVE CENTER
OF CURB ON WEST LOTLINE
4811.65

HOUSE-3596 SQ. FT.
GARAGE-667 SQ. FT.



DRAINAGE

SETBACKS
20' Front
25' Rear
7' Sides

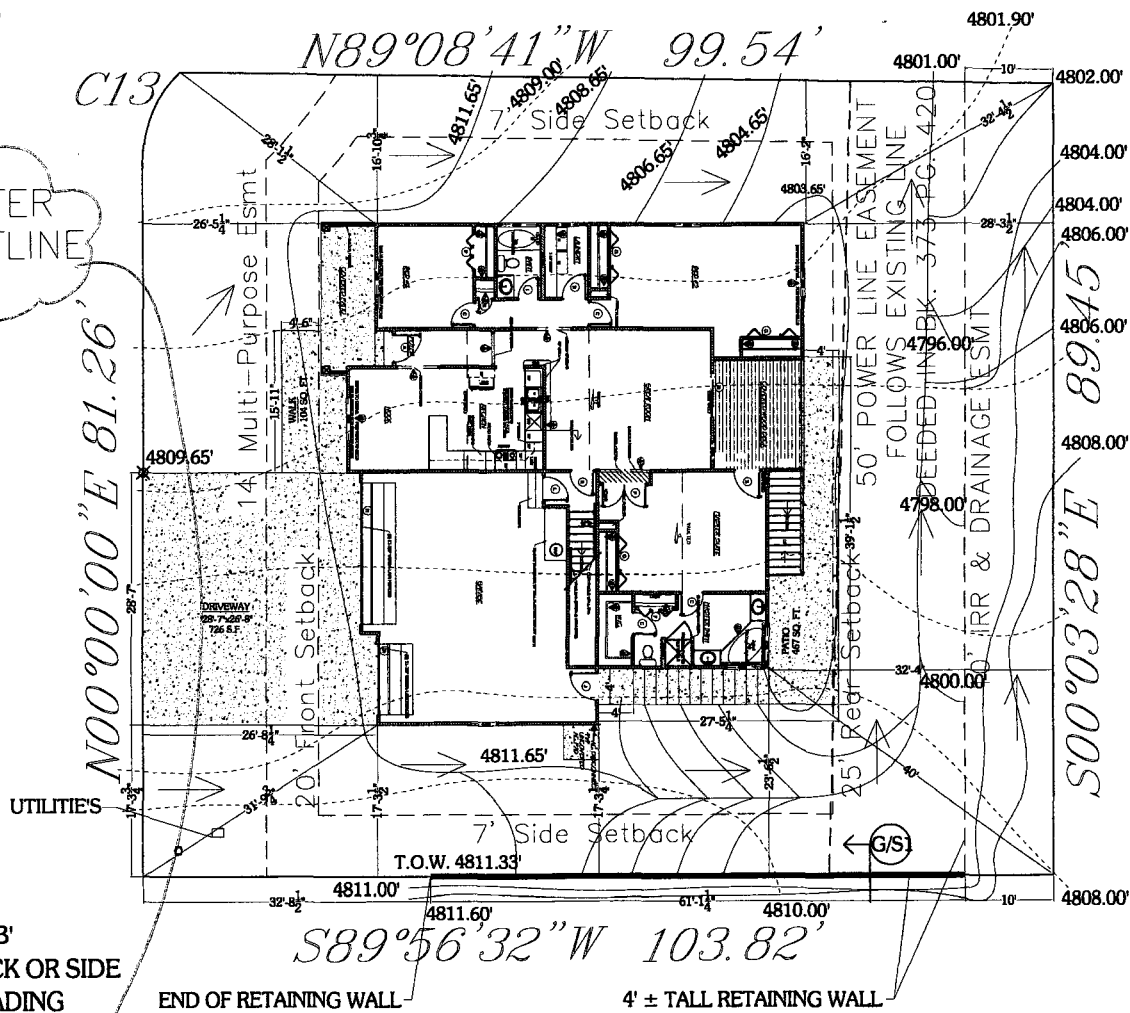
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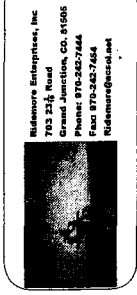
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→ Revised TOF OK

Laura Lambert
City of Grand Junction
6/12/06



128 DRY CREEK ROAD
RED TAIL RIDGE LOT-12/BLOCK-2
#1798 W/FULL BASEMENT

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