

FEE \$ 10.<sup>00/</sup>  
 TCP \$ 1539.<sup>00/</sup>  
 SIF \$ 460.<sup>00/</sup>

**PLANNING CLEARANCE**  
 (Single Family Residential and Accessory Structures)  
Community Development Department

BLDG PERMIT NO. \_\_\_\_\_

Building Address 129 Dry Creek ROAD  
 Parcel No. 2943-324-14-005  
 Subdivision Red Tail Ridge  
 Filing 1 Block 3 Lot 5

No. of Existing Bldgs 0 No. Proposed 1  
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2316  
 Sq. Ft. of Lot / Parcel 8673  
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface  
 (Total Existing & Proposed) 3514  
 Height of Proposed Structure 21

**OWNER INFORMATION:**

Name Ridmore Enterprises  
 Address 703 232110 Rd.  
 City / State / Zip Grand Jct., CO 81505

**DESCRIPTION OF WORK & INTENDED USE:**

New Single Family Home (\*check type below)  
 Interior Remodel  Addition  
 Other (please specify): \_\_\_\_\_

**APPLICANT INFORMATION:**

Name Ridmore Enterprises  
 Address 703 232110 Rd.  
 City / State / Zip Grand Jct., CO 81505  
 Telephone 242-7444

**\*TYPE OF HOME PROPOSED:**

Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify): \_\_\_\_\_

NOTES: need fence permit for retaining wall

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>RSF-4</u>	Maximum coverage of lot by structures <u>5090</u>
SETBACKS: Front <u>20</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>7</u> from PL Rear <u>25</u> from PL	Parking Requirement <u>2 + 1 visitor</u>
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>All lots on shared drives must</u>
Voting District <u>E</u> Driveway Location Approval <u>UN</u>	<u>access off shared drives. These lots also have to demonstrate an extra parking space for visitors</u>

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

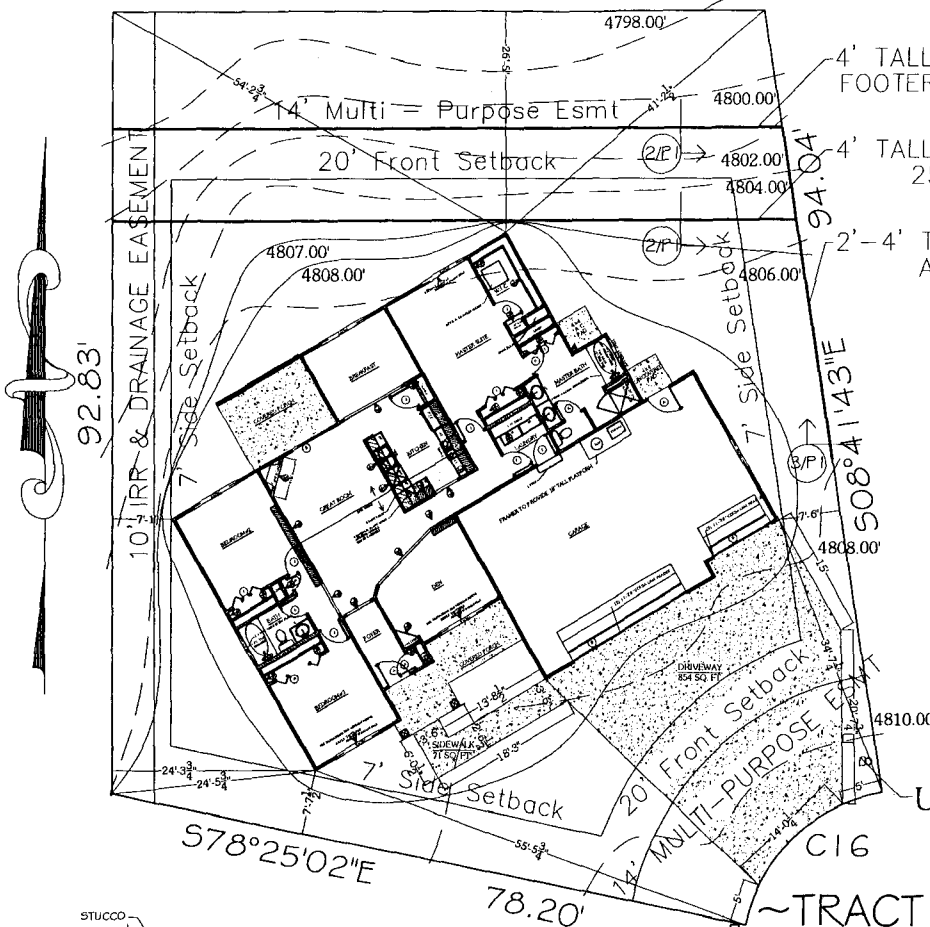
Applicant Signature [Signature] Date 7/6/06  
 Department Approval [Signature] Date 7/18/2006

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> W/O No. <u>FD@OmsD</u>
Utility Accounting <u>[Signature]</u> Date <u>7/31/06</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

~GREAT PLAINS DRIVE~

78.96'



4' TALL RETAINING WALL W/  
FOOTER - ALONG 14' ESMT

4' TALL RETAINING WALL W/ FOOTER  
25' FROM PROPERTY LINE

2'-4' TALL RETAINING WALL W/ FOOTER  
ALONG SIDE PROPERTY LINE

LOT 5

8673 SQ. FT.

BLOCK 3

HOUSE = 1609 SQ. FT.

GARAGE = 737 SQ. FT.

SETBACKS

20' Front  
25' Rear  
7' Sides

UTILITIES

DRAINAGE

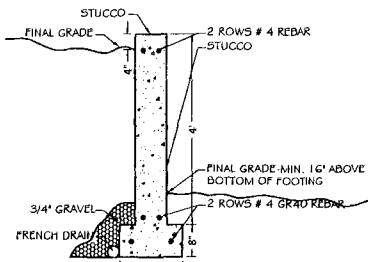
~TRACT E~

FF ELEV  
MIN 4804.00  
MAX 4806.00

TYPICAL LOT GRADING TYPE 'B'  
"FRONT & BACK OR SIDE"  
TYPE 'B' MODIFIED B1 LOT GRADING  
\*NO FOUNDATION DRAIN REQUIRED  
UNLESS OPEN EXCAVATION  
OBSERVATION DEEMS IT NECESSARY

PROPOSED CONTOUR INTERVALS = 2'

EXISTING CONTOUR INTERVALS = 2'



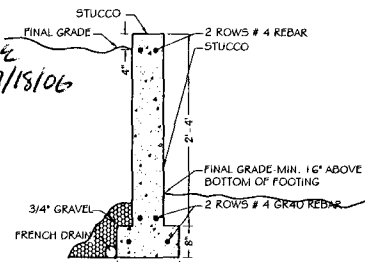
RETAINING WALL  
3/8" = 1'-0"

1  
P1

PLOT PLAN

1" = 15'

ACCEPTED *7/11/06* *Judith Price*  
ANY CHANGE OF SETBACKS MUST BE 7/18/06  
APPROVED BY THE CITY PLANNING  
DEPT. TO BE THE CONTRACTOR'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.



RETAINING WALL  
3/8" = 1'-0"

Melina Enterprises, Inc  
703 234 Road  
Grand Junction, CO 81505  
Phone: 9702627444  
Fax: 9702627454  
Melina@melina.net

129 DRY CREEK ROAD  
RED TAIL RIDGE LOT-5/BLOCK-3  
#1609 3 CAR FRONT LOAD

REVISIONS:  
DRAWING BY:  
MELINA ROSE

PLAN DATE:  
6-22-06

P1