

FEE \$ 10<sup>00</sup>  
 TCP \$ 39.60 (Single Family Residential and Accessory Structures)  
 SIF \$ 460<sup>00</sup>

**PLANNING CLEARANCE**

BLDG PERMIT NO. \_\_\_\_\_

**Community Development Department**

Building Address 2209 Desert Viewish CT No. of Existing Bldgs 0 No. Proposed 1  
 Parcel No. 2945-192-10-011 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2640  
 Subdivision Canyon Rim Sq. Ft. of Lot / Parcel 18,836  
 Filing 2 Block 1 Lot 4 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 3200  
 Height of Proposed Structure 26'

**OWNER INFORMATION:**

Name DAVID Bsgg  
 Address 2141 Reddick Cir  
 City / State / Zip G.I. CO 81503

DESCRIPTION OF WORK & INTENDED USE:  
 New Single Family Home (\*check type below)  
 Interior Remodel  Addition  
 Other (please specify): \_\_\_\_\_

**APPLICANT INFORMATION:**

Name SAME  
 Address \_\_\_\_\_  
 City / State / Zip \_\_\_\_\_  
 Telephone 234-2222

\*TYPE OF HOME PROPOSED:  
 Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify): \_\_\_\_\_

NOTES: New Res

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>RSF-2</u>	Maximum coverage of lot by structures <u>30%</u>		
SETBACKS: Front <u>20</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____		
Side <u>15</u> from PL Rear <u>30</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>ACCO approval required; Foundation required design by licensed engineer, based on a site specific soils examination.</u>		
Voting District <u>A</u>	Driveway Location Approval <u>RAD</u> (Engineer's Initials)		

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 7-7-06  
 Department Approval JAR Gaylen Henderson Date 7-11-06

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	W/O No. <u>14289</u>
Utility Accounting <u>Kate Cusberry</u>	Date <u>7/11/06</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

NOTICE  
 1. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY DETAILS  
 AND DIMENSIONS PRIOR TO CONSTRUCTION.

BLOCK 1  
 LOT 3  
 18791SQ FT  
 0.431ACRES

BLOCK  
 LOT 4  
 17053SQ FT  
 0.391ACRES

2209  
 Desert Varnish Ct

789 SF

2670 SF

BLOCK 1  
 LOT 5  
 17081SQ FT  
 0.392ACRES



*GA 7-11-06 Gayle R Henderson*  
**ACCEPTED OF SETBACKS MUST BE  
 ANY CHANGE BY THE CITY PLANNING  
 APPROVED BY THE CITY PLANNING  
 DEPT. IT IS THE PROPERLY  
 RESPONSIBILITY OF THE EASEMENTS  
 LOCATE AND IDENTIFY EASEMENTS  
 AND PROPERTY LINES.**

*Ok  
 July 10, 06*

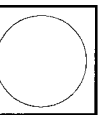
BLOCK 1  
 LOT 2  
 18836SQ FT  
 0.432ACRES

10' IRRIGATION EASEMENT  
 S11°08'27"E 133.45'

N69°56'23"E 155.47'

REVISIONS	
NO.	DESCRIPTION

**AUTO DRAFT**  
 COMPUTER AIDED DRAFTING  
 GRAND JUNCTION, CO (970) 241-6782



B AND B CUSTOM HOMES  
 GANYEN RIM FLING 2 - BLK 1 - LOT 4

DRAWN BY	AUTO DRAFT
FILE NAME	
DATE	6.12.06
SCALE	1/8" = 1'-0"
SHEET	