

Liftstation Impact fee 1,104.00

FEE \$	10.00
TCP \$	1539.00
SIF \$	460.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 202 River Ridge Road No. of Existing Bldgs 0 No. Proposed 1
 Parcel No. 00918679C 2945 2041060 No. of Existing Bldgs 0 Sq. Ft. Proposed 2418
 Subdivision Spyglass Ridge Sq. Ft. of Lot / Parcel 10,231
 Filing 1 Block _____ Lot 205 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 3196
 Height of Proposed Structure 19'-6"

OWNER INFORMATION:

Name Contemporary Design Homes
 Address 377 Caprock Dr.
 City / State / Zip Grand Junction, CO 81503

DESCRIPTION OF WORK & INTENDED USE:
 New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Contemporary Design Homes
Mike Utter/Cayli Utter
 Address 377 Caprock Dr.
 City / State / Zip Grand Junction, CO 81503
 Telephone 970-243-0097

*TYPE OF HOME PROPOSED:
 Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>RSE-2</u>	Maximum coverage of lot by structures <u>30%</u>
SETBACKS: Front <u>20</u> (25' per envelope) from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>15</u> (10' per envelope) from PL	Rear <u>30</u> (30' per envelope) from PL
Parking Requirement <u>2</u>	Special Conditions <u>Engineered foundation</u>
Maximum Height of Structure(s) <u>35</u>	<u>Site specific grading & drainage</u>
Voting District <u>11E</u>	Driveway Location Approval <u>UU</u> (Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Cayli Utter Date 11-2-06

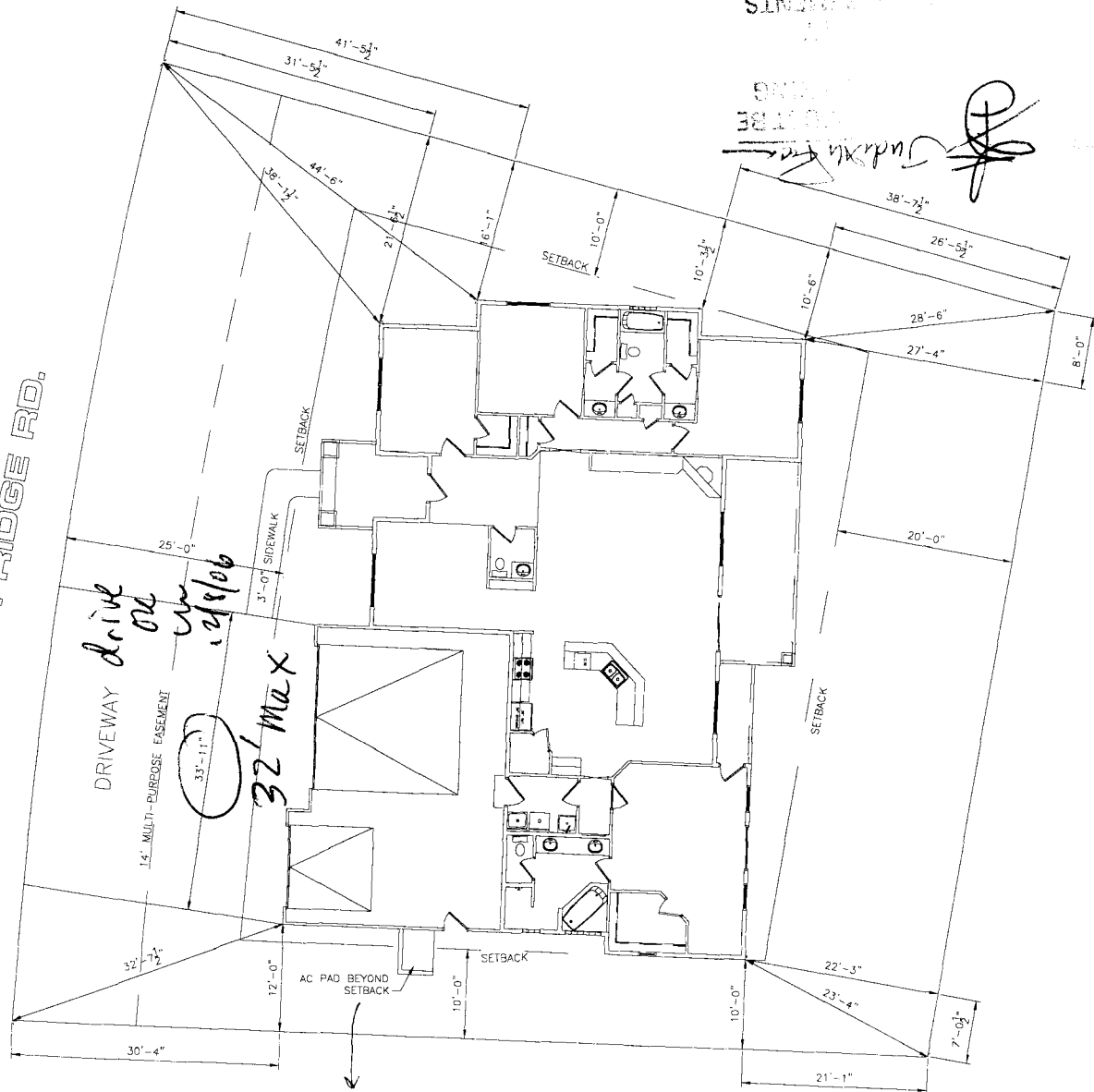
Department Approval Judith A. Pas Date _____

Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	W/O No. <u>Pd @ OMSD</u>
Utility Accounting <u>d</u>	Date <u>12/14/06</u>		

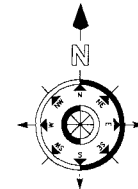
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

RIVER RIDGE RD.

SLINE...
 12/12/06
 [Handwritten signature]



Do not cover in SETBACK



NOTE:
 BUILDER TO VERIFY ALL SETBACK AND EASEMENT ENCROACHMENTS PRIOR TO CONSTRUCTION

NOTE:
 DIMENSION LINES ARE PULLED FROM EDGE OF BRICK LEDGE. IF NO BRICK LEDGE EXISTS, DIMENSIONS WILL BE FROM EDGE OF FOUNDATION.

NOTE:
 GRADE MUST SLOPE AWAY FROM HOUSE 6" OF FALL IN THE FIRST 10' OF DISTANCE PER LOCAL BUILDING CODE.

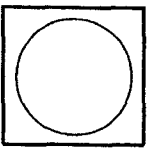
NOTICE:
 1. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 2. USE OF THIS PLAN CONSTITUTES BUILDER AND OR HOME OWNERS ACCEPTANCE OF THESE TERMS.
 3. ALL DIMENSIONS ARE TO EDGE OF FOUNDATION UNLESS OTHER WISE NOTED.
 4. BUILDER AND OR OWNER TO VERIFY ALL SETBACKS AND EASEMENTS.
 5. THIS PLAN HAS NOT BEEN ENGINEERED BY AUTODRAFT. SEE SEPARATE DRAWINGS BY OTHERS FOR ENGINEERING DATA.

SITE PLAN INFORMATION	
SUBDIVISION NAME	SPYGLASS RIDGE
FILING NUMBER	1
LOT NUMBER	205
BLOCK NUMBER	N/A
STREET ADDRESS	202 RIVER RIDGE RD.
COUNTY	MESA
GARAGE SQ. FT.	778 SQ FT
LIVING SQ. FT.	2436 SQ. FT.
LOT SIZE	10231 SQ FT
SETBACKS USED	FRONT 25' SIDES 10' REAR 20'

SCALE: 1"=20'-0"

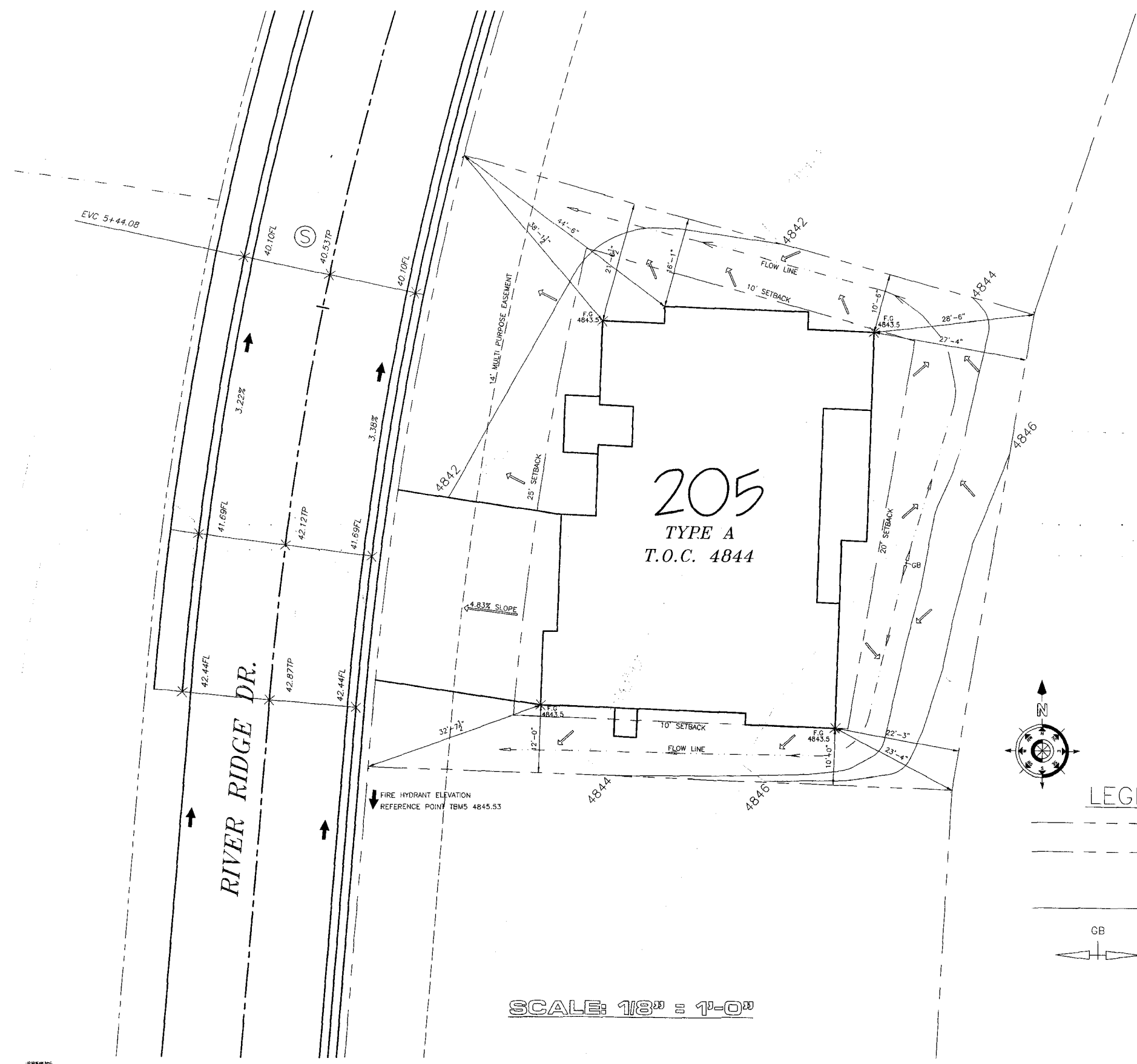
REVISIONS	
A	
B	
C	
D	
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F	
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H	

AUTODRAFT
 COMPUTER AIDED DRAFTING
 GRAND JUNCTION, CO (970) 241-6782

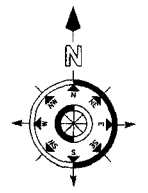


**CONTEMPORARY DESIGN HOMES
 GRADING AND DRAINAGE**

DRAWN BY AUTODRAFT	
FILE NAME	
DATE 11-3-06	
SCALE 1/8" = 1'-0"	
SHEET G1	



SCALE: 1/8" = 1'-0"



LEGEND

- PROPERTY LINE
- SETBACK
- EXISTING CONTOURS
- PROPOSED CONTOURS
- GB
- GRADE BREAK

APPROVED FOR CONSTRUCTION
[Signature]
 12/8/06

