

Left STATION Impact Fee: \$ 1,104

FEE \$ 10.00
TCP \$ 1539.00
SIF \$ 460.00

# PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG PERMIT NO. \_\_\_\_\_

Building Address 207 River Ridge Dr.  
 Parcel No. 2945-264-41-055  
 Subdivision Spyglass Ridge  
 Filing 1 Block \_\_\_\_\_ Lot 1B2

No. of Existing Bldgs 0 No. Proposed 1  
 Sq. Ft. of Existing Bldgs 0 <sup>Walk-out</sup> ~~0~~ Sq. Ft. Proposed 3,000  
 Sq. Ft. of Lot / Parcel 11,424  
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) ~~0%~~ 26%

### OWNER INFORMATION:

Name Sam Lem Hean  
 Address 642 Tomahawk  
 City / State / Zip Grand Junction, CO 81504

### DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (\*check type below)
- Interior Remodel  Addition
- Other (please specify): \_\_\_\_\_

### APPLICANT INFORMATION:

Name Sam Lem Hean  
 Address 642 Tomahawk  
 City / State / Zip Grand Junction, CO 81504  
 Telephone 970-210-0292

### \*TYPE OF HOME PROPOSED:

- Site Built  Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): \_\_\_\_\_

NOTES: \_\_\_\_\_

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>RSF-2 / Cluster</u>	Maximum coverage of lot by structures <u>per envelope</u>		
SETBACKS: Front <u>20</u> <sup>per bidg envelope</sup> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		
Side <u>15</u> from PL Rear <u>30</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>35'</u>	Special Conditions <u>engineered foundation</u>		
Voting District <u>E</u> Driveway Location Approval <u>W</u> <small>(Engineer's Initials)</small>	<u>required + site grading &amp; drainage plans prepared by registered engineer</u>		

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 7/25/06

Department Approval [Signature] Date 8/4/06

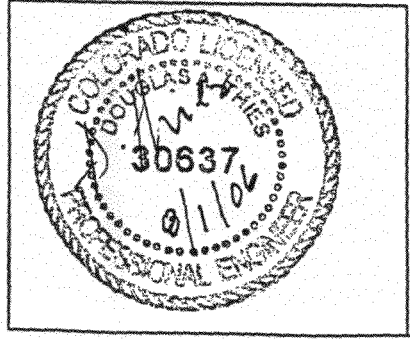
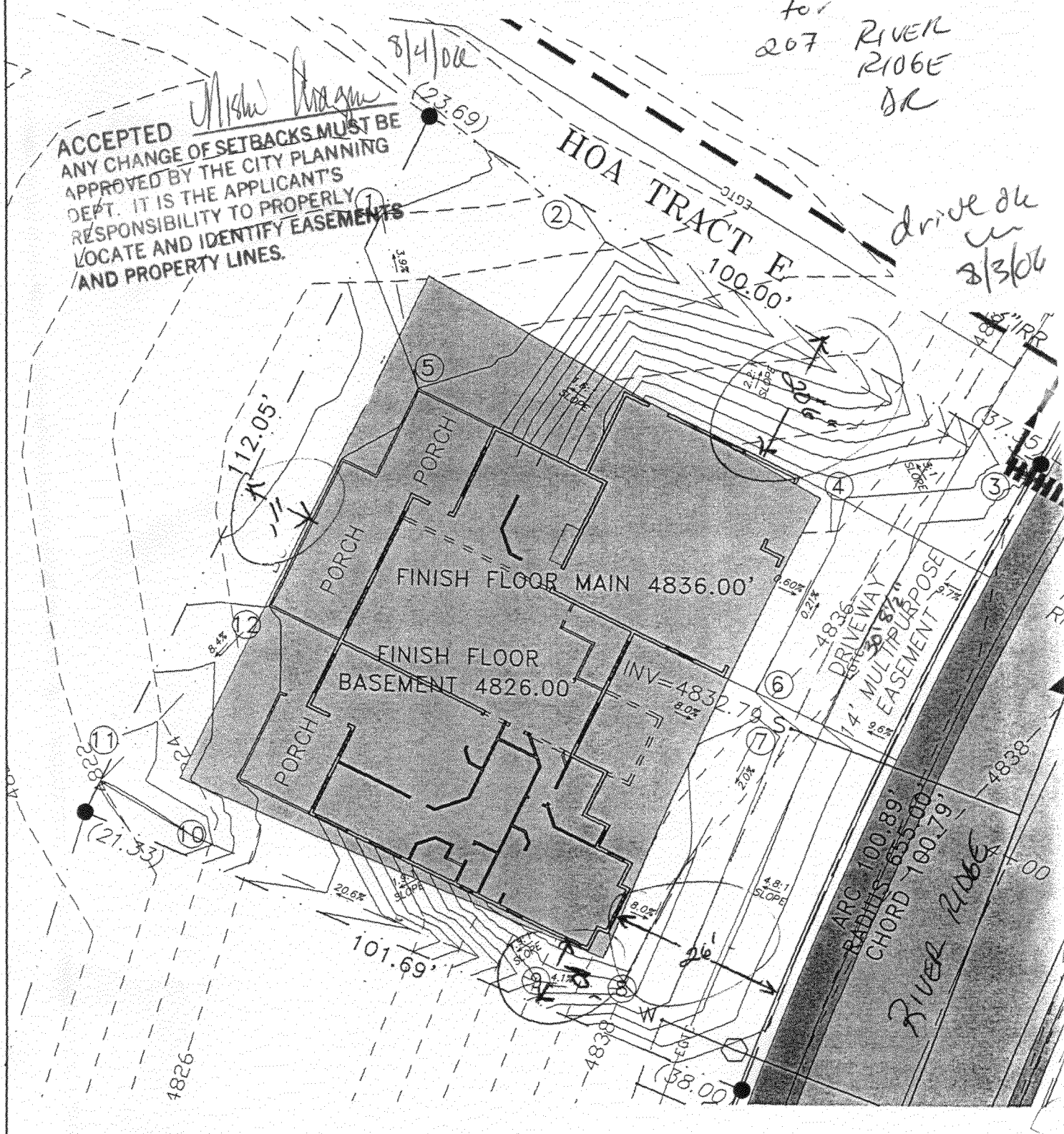
Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	W/O No. <u>MSD # 4953</u>
Utility Accounting <u>[Signature]</u>	Date <u>8/4/06</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

8 1/2 x 11 SITE PLAN

for  
207 RIVER  
RIDGE  
DR

ACCEPTED *Misha Magan*  
ANY CHANGE OF SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.



PROPOSED ELEVATIONS

①	4824.00'	⑦	4834.40'
②	4824.00'	⑧	4833.50'
③	4836.35'	⑨	4833.00'
④	4835.80'	⑩	4822.00'
⑤	4825.00'	⑪	4822.00'
⑥	4836.00'	⑫	4824.50'

LEGEND

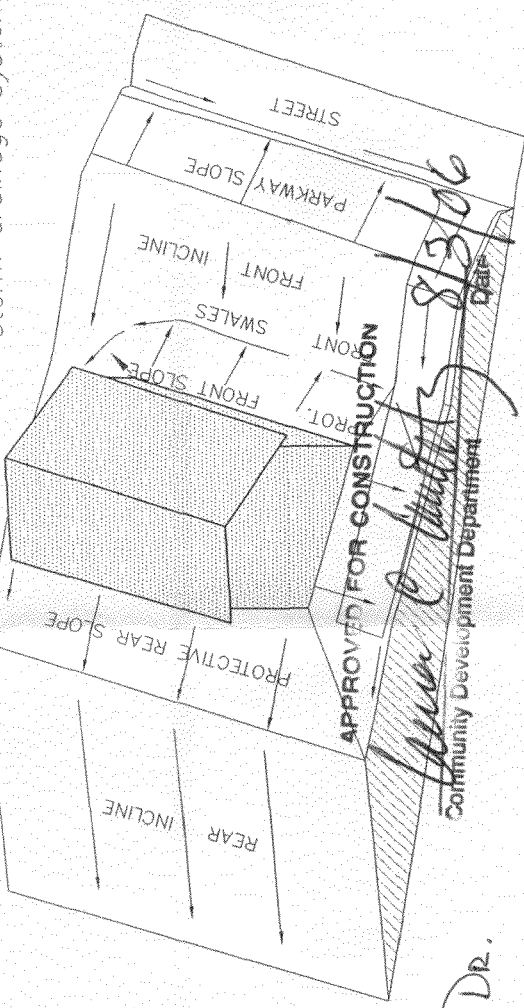
- (XX.XX) PER PLAN
  - CORNERS
  - W WATER SE
  - S SANITARY
  - PROPERTY
  - EXISTING
- NOTE: This is not a bo  
to the recorded

GRADING AND DRAINAGE

Footprint of the building (NTS) layout provided by others and may not reflect final construction on site or exact location of the building within the envelope.

SCALE 1" = 20'

207 River Ridge Dr.



## LOT GRADING - TYPE C ALL DRAINAGE TO REAR LOT LINE

### GENERAL GRADING NOTES

1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
2. Contractor shall give 48 hours notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations PRIOR to commencement of work. Contractor shall assure himself that all construction permits have been obtained prior to commencement of work. All required permits shall be obtained at the Contractor's expense.
3. Individual lots shall be laid out so as to provide positive drainage away from all buildings and shall be coordinated with the general storm drainage pattern for the area.
4. All lots must be graded to meet the elevation of adjoining property to provide good access and to minimize the use of retaining walls.
5. Drainage shall avoid concentration of storm drainage water from each lot to adjacent lots and no person may divert or impound the natural flow of surface waters, in a manner that damages the property of another by the overflow of the water diverted or impounded.
6. Lot grading and drainage shall be in accordance with all applicable building codes, rules, and regulations, as well as the geotechnical engineers recommendations.

OK

LEGEND  
(XX.XX) PER PLAN SURFACE GRADE ELEVATIONS AT LOT CORNERS

**SPYGLASS RIDGE**

storm drainage system.