

FEE \$ 10.00
 TCP \$ 1529.00
 SIF \$ 460.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 211 RIVER RIDGE No. of Existing Bldgs 4 No. Proposed 1
 Parcel No. 2945-264-41-028 Sq. Ft. of Existing Bldgs 4 Sq. Ft. Proposed 2,341.8
 Subdivision SPYGLASS RIDGE Sq. Ft. of Lot / Parcel 10,500
 Filing 1 Block _____ Lot 91 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 3,400 +/-
 Height of Proposed Structure 20'

OWNER INFORMATION:

Name HOWARD M. CARPENTER
 Address 434 RUST CT.
 City / State / Zip GRAND JCT. CO. 81503

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name SAME AS ABOVE
 Address _____
 City / State / Zip _____
 Telephone _____

***TYPE OF HOME PROPOSED:**

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RSF 2 Maximum coverage of lot by structures 30
 SETBACKS: Front 20 from property line (PL) Permanent Foundation Required: YES X NO _____
 Side 15 from PL Rear 30 from PL Parking Requirement 2
 Maximum Height of Structure(s) 35 Special Conditions _____
 Voting District E Driveway Location Approval UC
 (Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

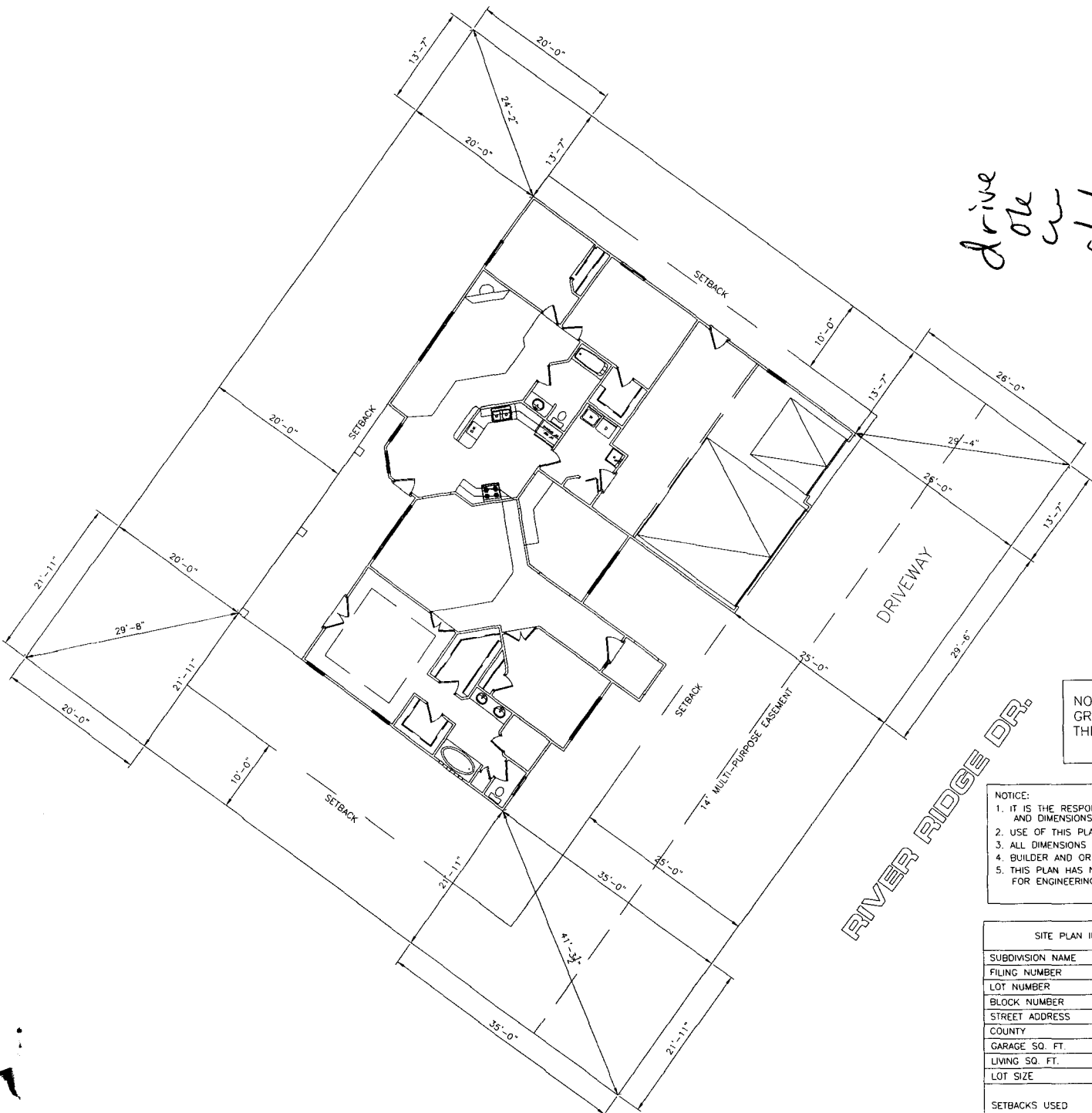
Applicant Signature Howard M. Carpenter Date 8/7/06
 Department Approval Justin Sappina Date 8/4/06

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 30 @ OmsD
 Utility Accounting [Signature] Date 8/7/06

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED *8/7/06*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPARTMENT. APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

*drive
 ole
 w
 8/4/06*



SCALE: 1"=20'-0"

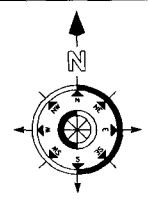
NOTE:
 DIMENSION LINES ARE PULLED FROM EDGE OF BRICK LEDGE. IF NO BRICK LEDGE EXISTS, DIMENSIONS WILL BE FROM EDGE OF FOUNDATION.

NOTE:
 BUILDER TO VERIFY ALL SETBACK AND EASEMENT ENCROACHMENTS PRIOR TO CONSTRUCTION

NOTE:
 GRADE MUST SLOPE AWAY FROM HOUSE 6" OF FALL IN THE FIRST 10' OF DISTANCE PER LOCAL BUILDING CODE.

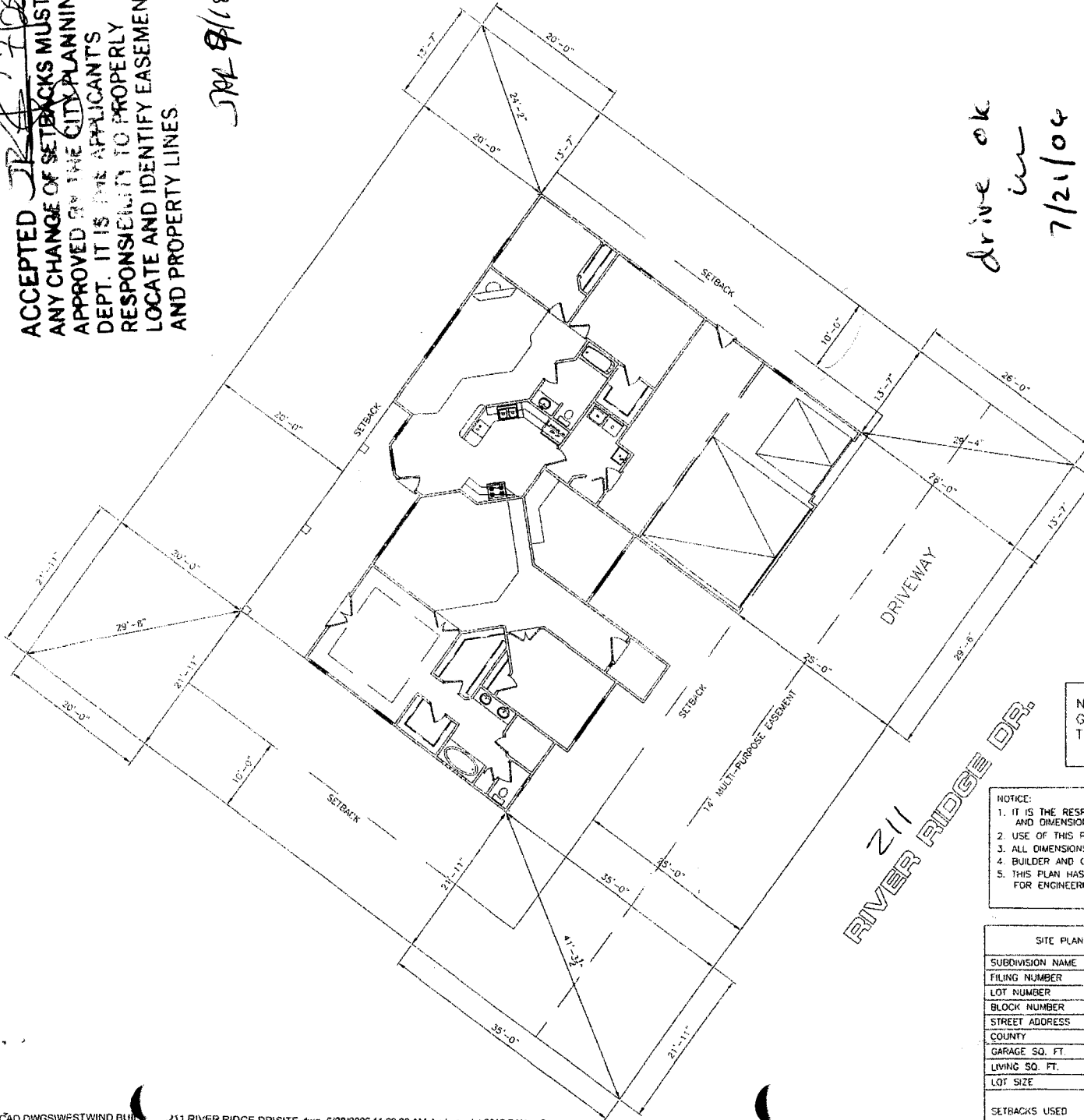
NOTICE:
 1. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 2. USE OF THIS PLAN CONSTITUTES BUILDER AND OR HOME OWNERS ACCEPTANCE OF THESE TERMS.
 3. ALL DIMENSIONS ARE TO EDGE OF FOUNDATION UNLESS OTHERWISE NOTED.
 4. BUILDER AND OR OWNER TO VERIFY ALL SETBACKS AND EASEMENTS.
 5. THIS PLAN HAS NOT BEEN ENGINEERED BY AUTODRAFT. SEE SEPARATE DRAWINGS BY OTHERS FOR ENGINEERING DATA.

SITE PLAN INFORMATION	
SUBDIVISION NAME	SPYGLASS RIDGE
FILING NUMBER	1
LOT NUMBER	91
BLOCK NUMBER	1
STREET ADDRESS	211 RIVER RIDGE DRIVE
COUNTY	MESA
GARAGE SQ. FT.	756 SF
LIVING SQ. FT.	2284 SF
LOT SIZE	10,500 SF
SETBACKS USED	FRONT 25'
	SIDES 10'
	REAR 20'



ACCEPTED *JK 7/2/06*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

JAL 9/18/06



*drive ok
 in
 7/21/06
 see attached
 Grading + Drainage
 Plan*

SCALE: 1"=20'-0"

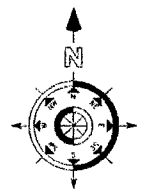
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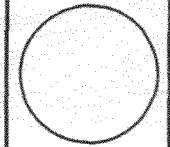
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REV	DATE	DESCRIPTION
A	07-20-06	DRH
B		
C		
D		
E		
F		
G		
H		

Auto DRAFT
 COMPUTER AIDED DRAFTING
 GRAND JUNCTION, CO (970) 241-6782

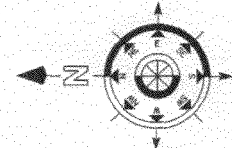
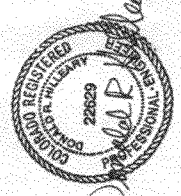


WESTWIND BUILDERS
211 RIVER RIDGE DRIVE
GRADING PLAN

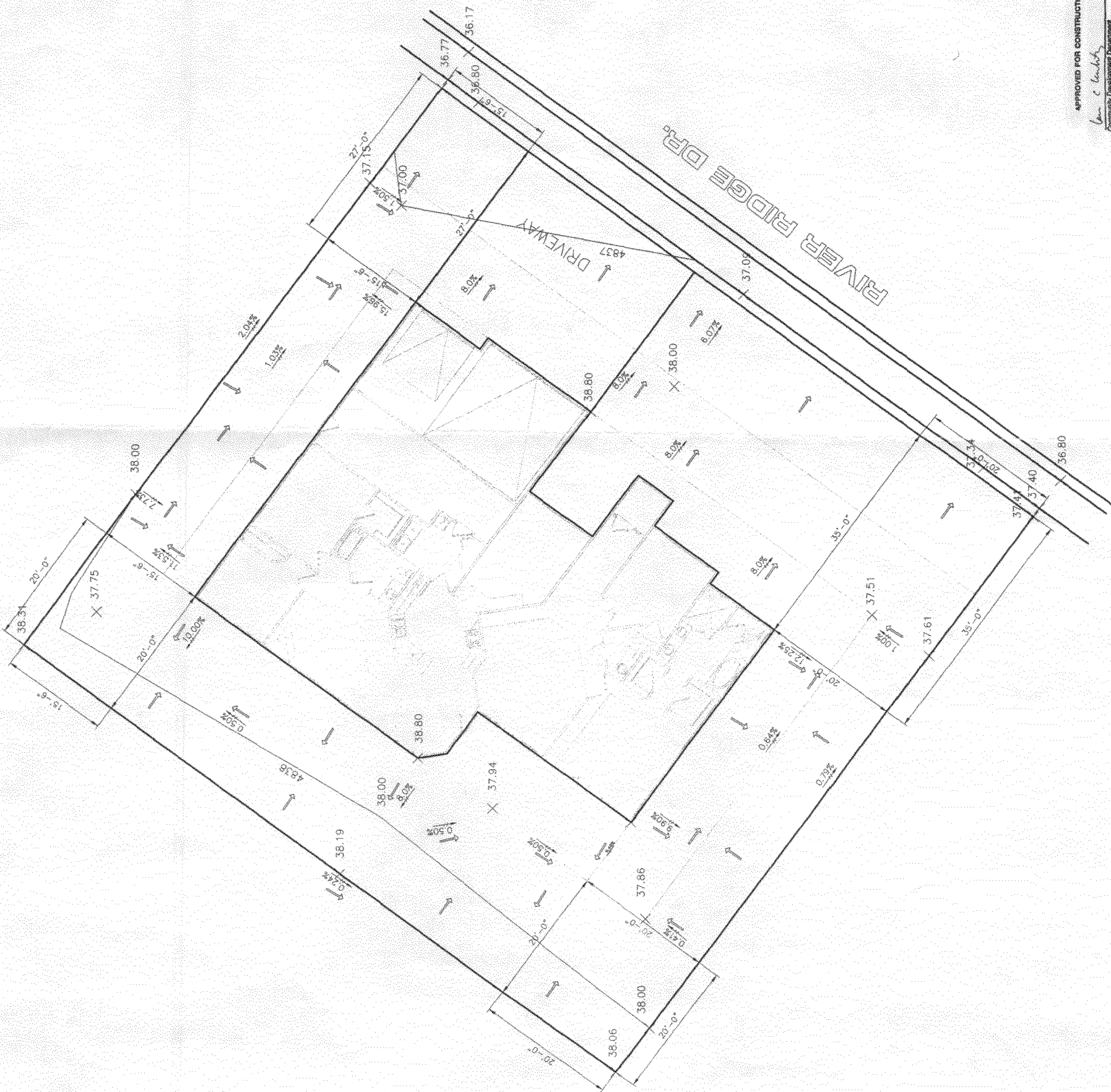
DRAWN BY	DATE	SHEET
AUTODRAFT	07-20-06	S-1
SCALE	1" = 20'	

SITE PLAN INFORMATION	
SUBDIVISION NAME	SPYGLASS RIDGE
FLING NUMBER	1
LOT NUMBER	91
BLOCK NUMBER	1
STREET ADDRESS	211 RIVER RIDGE DRIVE
COUNTY	MESA
GARAGE SQ. FT.	744 SF
LIVING SQ. FT.	2342 SF
LOT SIZE	10,500 SF
SETBACKS USED	FRONT 25' SIDES 10' REAR 20'

NOTE:
 GRADE MUST SLOPE AWAY FROM HOUSE WITH 8% OF FALL IN THE FIRST 10' OF DISTANCE PER GEOTECHNICAL ENGINEERS



SCALE: 1"=20'-0"



APPROVED FOR CONSTRUCTION
 [Signature]
 Community Development Department
 Development Eng. [Name]

DOWN-SLOPE GRADIENT
 FLOW DIRECTION