

FEE \$	10 ⁰⁰
TCP \$	1539 ⁰⁰
SIF \$	460 ⁰⁰

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 249 Silverton Ct.
 Parcel No. 2943-303-74-018
 Subdivision Durango Acres
 Filing TWO Block 1 Lot 18

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2177 Garage 525 2702 TOTAL
 Sq. Ft. of Lot / Parcel 8177.8 (.188 ac)
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 2286
 Height of Proposed Structure 23 Foot

OWNER INFORMATION:

Name Gustavo Ortiz
 Address 1796 Balon Ct
 City / State / Zip Grand Jct Co, 81503

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Gustavo Ortiz
 Address 1796 Balon Ct
 City / State / Zip Grand Jct 10 81503
 Telephone (970) 241-4261

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>RSF-4</u>	Maximum coverage of lot by structures <u>50</u>
SETBACKS: Front <u>20</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>7</u> from PL Rear <u>25</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35</u>	Special Conditions _____
Voting District <u>"E"</u> Driveway _____	Location Approval <u>RAD</u> <u>RAD 7-5-06</u> (Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Gustavo Ortiz Date 7-6-06
 Department Approval Joe Eudora A. Poir Date 7/6/2006

Additional water and/or power tap fee(s) are required:	YES <u>X</u> NO _____	W/O No. <u>OMSD Jap #14944</u>
Utility Accounting <u>Dottie Krouer</u>	Date <u>7-7-06</u>	

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

RECEIVED

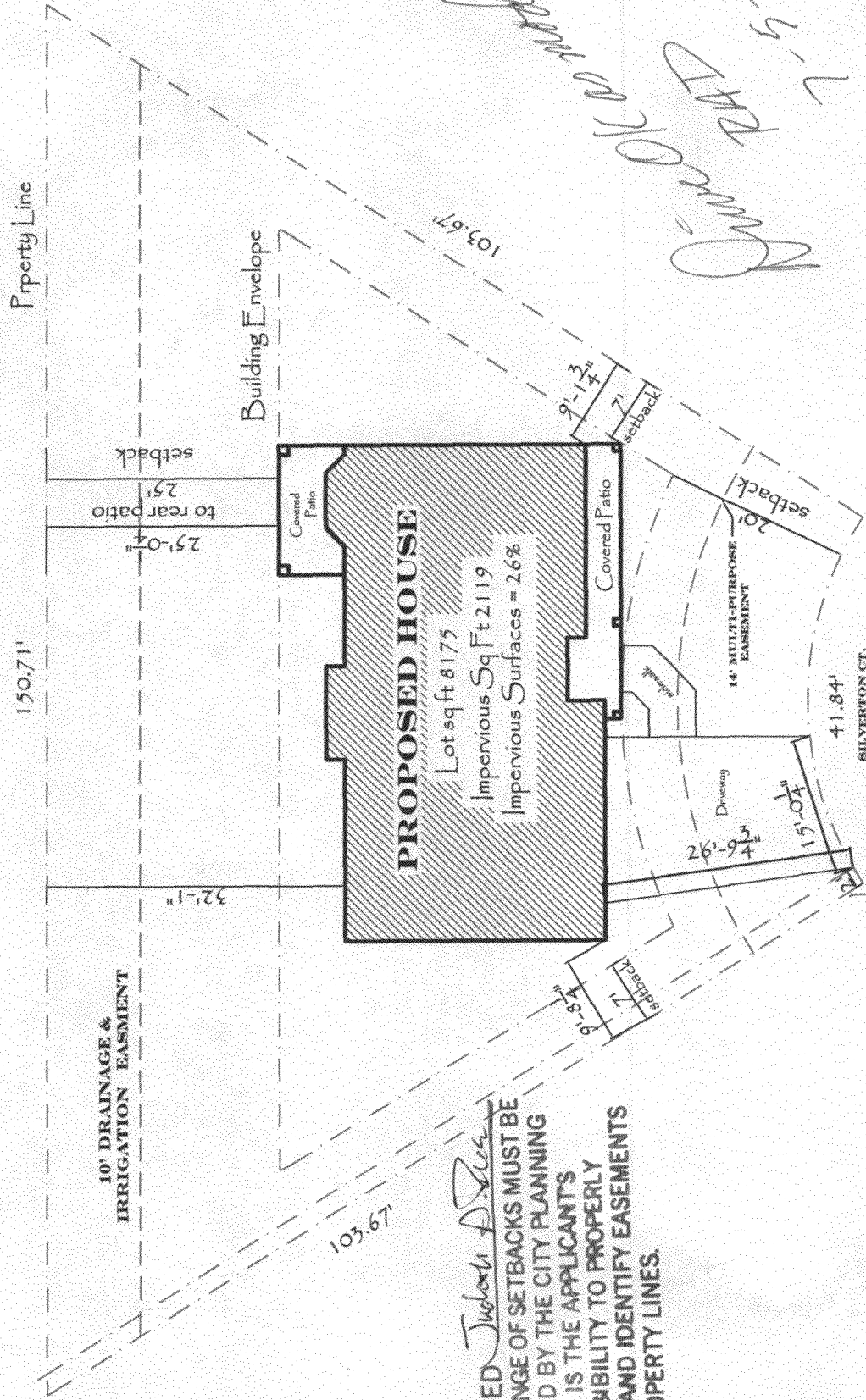
JUL 03 2006

COMMUNITY DEVELOPMENT

DURANGO ACRES

LOT 18, BLOCK 1, FILING 2

249 SILVERTON CT.



ACCEPTED *Jacob A. [Signature]*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

Approved by [Signature]
 7-5-06

Gustavo Ortiz
(970) 241-4261

RECEIVED

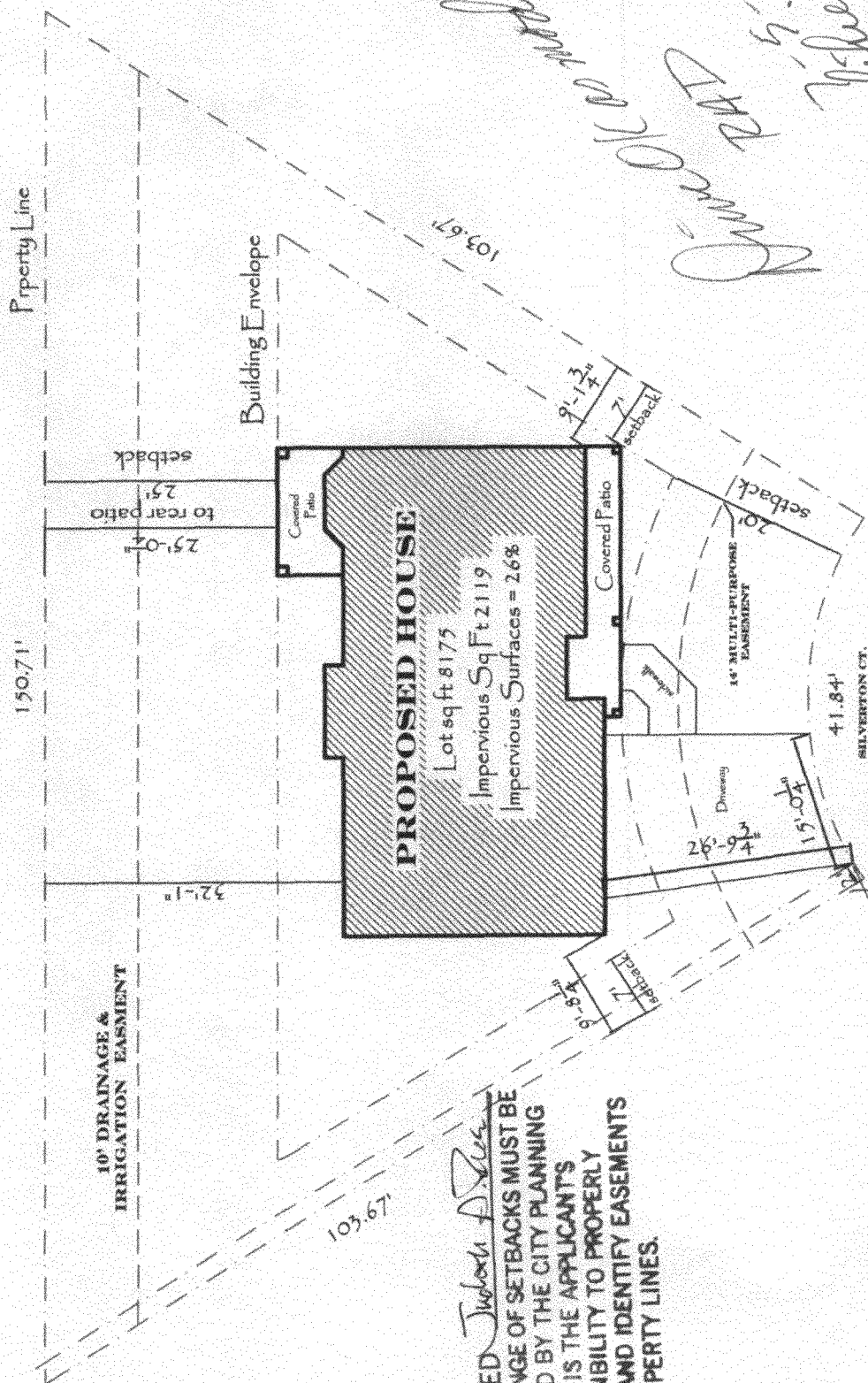
JUL 03 2006

COMMUNITY DEVELOPMENT

DURANGO ACRES LOT 18, BLOCK 1, FILING 2 249 SILVERTON CT.



Gustavo Ortiz
(970) 241-4261



ACCEPTED *Judith A. [Signature]*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

103.67
9'-13 1/4" setback
20' setback
15'-0 1/4"
26'-9 3/4"
41.84'
SILVERTON CT.
5 MIN 11-6-06
PAD
11-6-06
11-6-06