

FEE \$ 10.00 /
TCP \$
SIF \$

# PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG PERMIT NO. \_\_\_\_\_



Your Bridge to a Better Community

88046-49710 -

BLDG ADDRESS 2702 Skyline Dr. SQ. FT. OF PROPOSED BLDGS/ADDITION 4033

TAX SCHEDULE NO. 2701-362-20-002 SQ. FT. OF EXISTING BLDGS \_\_\_\_\_

SUBDIVISION Skyline TOTAL SQ. FT. OF EXISTING & PROPOSED 4033

FILING \_\_\_\_\_ BLK \_\_\_\_\_ LOT \_\_\_\_\_

NO. OF DWELLING UNITS:  
 Before: \_\_\_\_\_ After: \_\_\_\_\_ this Construction

NO. OF BUILDINGS ON PARCEL  
 Before: \_\_\_\_\_ After: \_\_\_\_\_ this Construction

(1) OWNER Mark & Mist Schneider

(1) ADDRESS \_\_\_\_\_

(1) TELEPHONE \_\_\_\_\_

USE OF EXISTING BUILDINGS \_\_\_\_\_

(2) APPLICANT Maves Construction

DESCRIPTION OF WORK & INTENDED USE \_\_\_\_\_

(2) ADDRESS PO Box 670 Fruita

TYPE OF HOME PROPOSED:  
 Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify) \_\_\_\_\_

(2) TELEPHONE 858-9642

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-2 Maximum coverage of lot by structures 30%

SETBACKS: Front 20 from property line (PL)  
 or \_\_\_\_\_ from center of ROW, whichever is greater

Permanent Foundation Required: YES X NO \_\_\_\_\_

Side 15 from PL, Rear 30 from PL

Parking Req'mt 2

Maximum Height 35ft

Special Conditions these are rebuilt from a fire.

CENSUS \_\_\_\_\_ TRAFFIC \_\_\_\_\_ ANNEX# \_\_\_\_\_

No change sewer/water

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 10-6-06

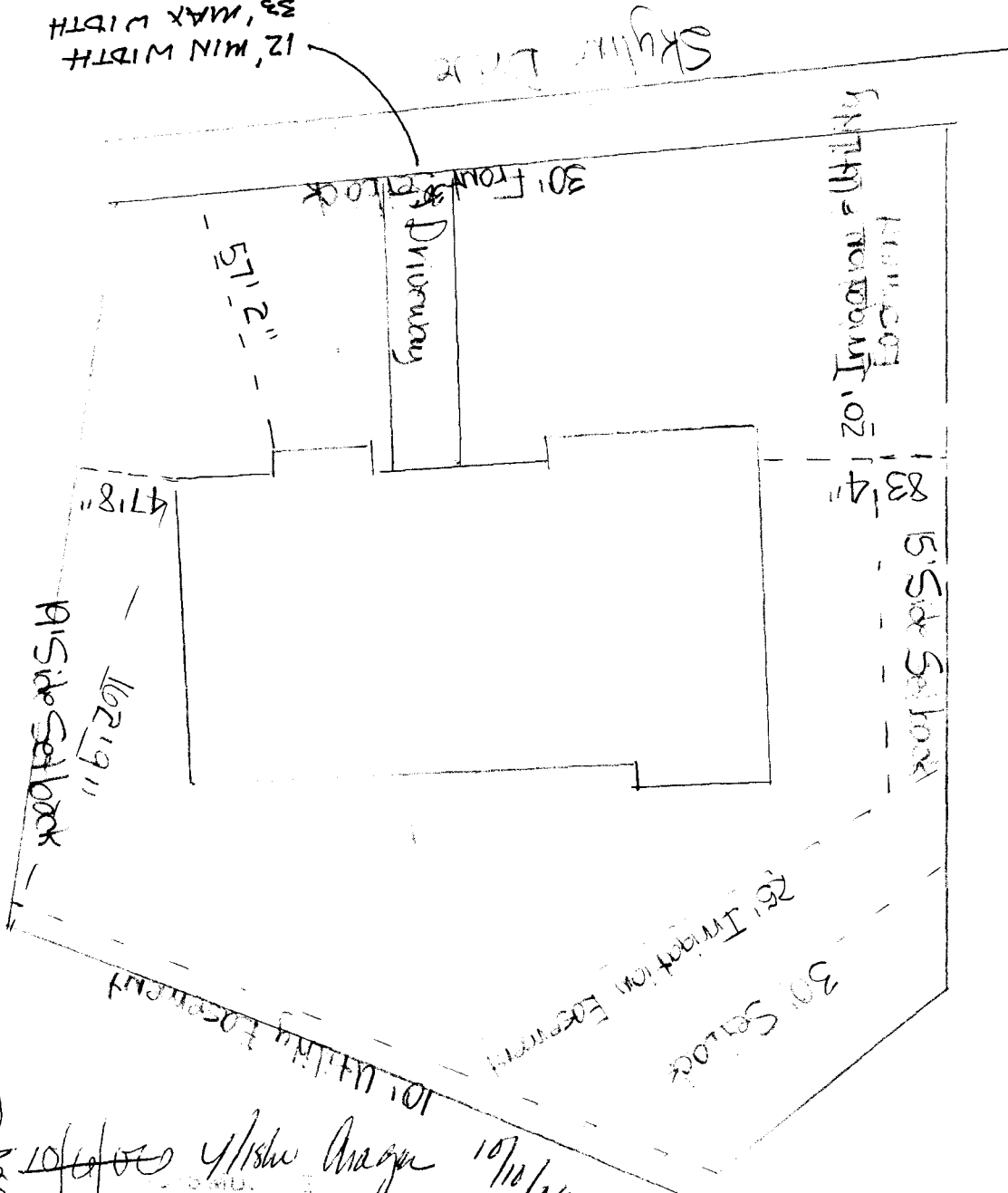
Department Approval [Signature] Date 10/10/06

Additional water and/or sewer tap fee(s) are required:	YES	NO	W/O No.
Utility Accounting	[Signature]	Date	<u>10/25/06</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2C Grand Junction Zoning & Development Code)

10-10-06  
RAD  
Duke O'K

12' MIN WIDTH  
33' MAX WIDTH



10/1/06

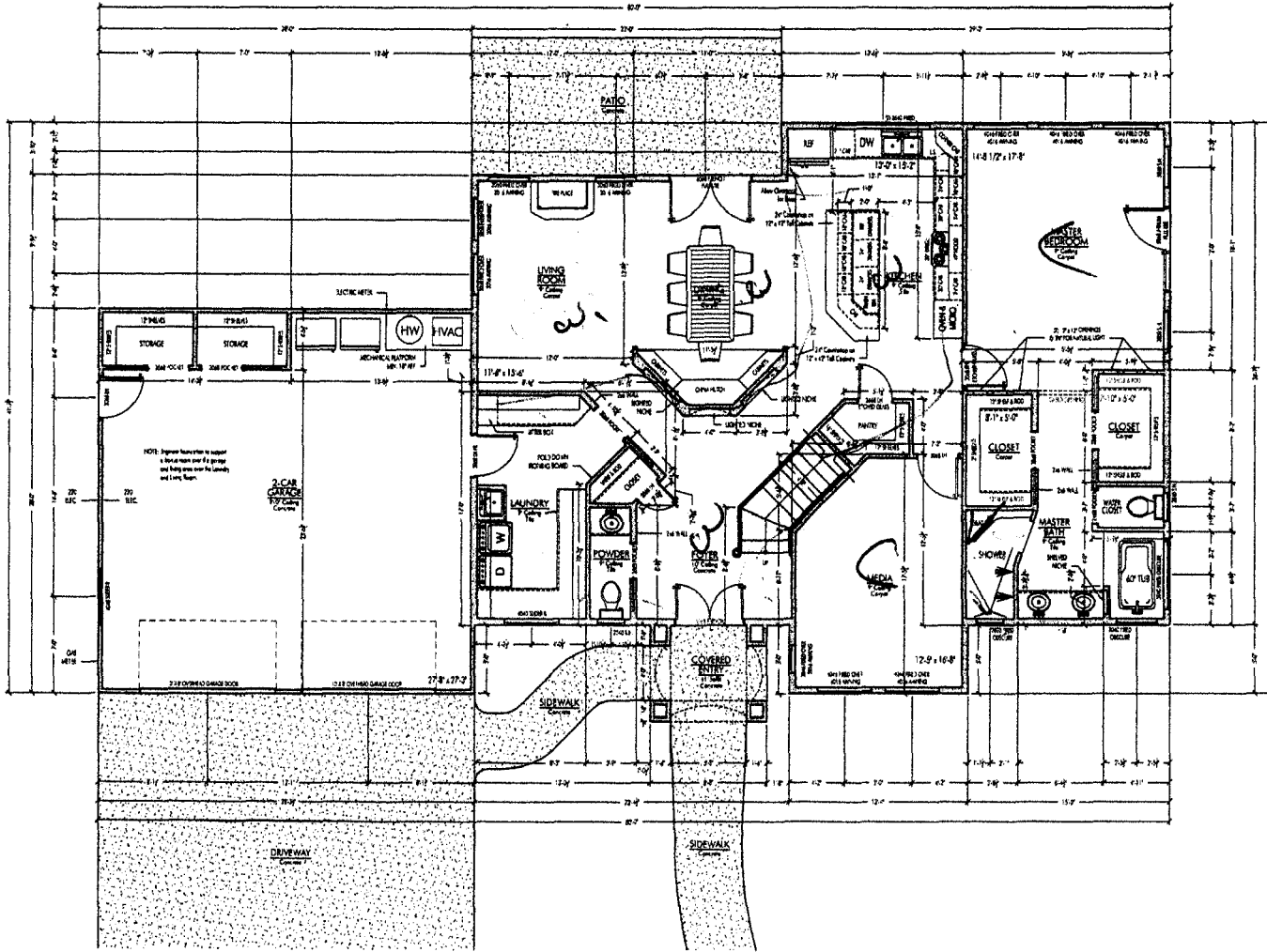
*[Signature]*  
10/1/06

PLANNING  
CLIENT'S  
TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

N

# THE SCHNEIDER RESIDENCE

2702 Skyline Drive Grand Junction, CO



Sheet Index	
1-	Main Level Floor Plan
2-	Upper Level Floor Plan
3-	Roof Plan & Typ. Wall Section
4-	Front & Back Elevations
5-	Left & Right Elevations

ACCEPTED FOR RECORD  
 ANY CHANGES MUST BE  
 APPROVED BY PLANNING  
 DEPARTMENT OF CITY PLANNING  
 RECORDS DEPARTMENT TO PROPERLY  
 LOCATE AND IDENTIFY EASEMENTS  
 AND PROPERTY LINES.

*[Signature]*

Area Calculations	
Main Level =	1886 Sq. Ft.
Upper Level =	1361 Sq. Ft.
Garage =	786 Sq. Ft.
<b>Total Living Area =</b>	<b>3247 Sq. Ft.</b>

THESE DRAWINGS, FOR THE DESIGN, HAVE BEEN DEVELOPED AND ISSUED WITHOUT KNOWLEDGE OR REFERENCE TO ANY SPECIFIC BUILDING CODES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY VIOLATIONS OF ANY APPLICABLE BUILDING CODES OR OTHER BUILDING PROFESSIONALS TO COMPLY WITH LOCAL BUILDING CODES AND ALL SPECIFIC REQUIREMENTS.

Apex Design and Drafting, Inc.  
 848 Main Street, 8th Fl., Grand Junction, CO  
 Phone: (970) 763-8272 Fax: (970) 763-8279

2702 Skyline Drive  
 Skyline Subdivision  
 Grand Junction, CO • 81506  
 Contact: Moses Construction

Designed By: Apex Design & Drafting  
 File Name: 2702 Skyline Drive  
 REV: 01/18/08  
 Date: 1/18/08  
 Scale: As Noted  
 Drawings By: D.A.G.

1

