

FEE \$ 10.00
 TCP \$ 1539.00
 CIF \$ 400.00

PLANNING CLEARANCE

BLDG PERMIT NO. _____

(Single Family Residential and Accessory Structures)

Community Development Department

Building Address 627 S NEEDON PL
 Parcel No. 2443-053 74-043
 Subdivision FORREST ESTATES
 Filing 1 Block _____ Lot 43

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2219
 Sq. Ft. of Lot / Parcel 7293
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 3944
 Height of Proposed Structure 25'

OWNER INFORMATION:

Name GRAND MESA Homes Inc
 Address PO Box 1373
 City / State / Zip GJ CO 81502

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Same
 Address _____
 City / State / Zip _____
 Telephone 234-2415 Cell

***TYPE OF HOME PROPOSED:**

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RMF-5 Maximum coverage of lot by structures 60%
 SETBACKS: Front 20' from property line (PL) Permanent Foundation Required: YES X NO _____
 Side 5' from PL Rear 25' from PL Parking Requirement 2
 Maximum Height of Structure(s) 35' Special Conditions _____
 Voting District D Driveway Location Approval MA
 (Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Mark L. Jensen President Date 12-26-06
 Department Approval Ulrich Bianga Date 12-29-06 REVERD 3/2/07

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 19887
 Utility Accounting [Signature] Date 12/29/06

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

REAR

70'

152'

25' UTILITY 100' GATED EASEMENT

55'

7' 8 1/2"

PATIO

14' 9"

5' 1"

10'

10/21/07

Revised

104.34

104 1/8"

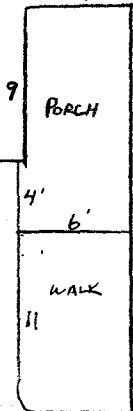
60 wire
59 deep

49' 6"

104.18

104 1/8"

57



627 SHERIDAN PL
FOREST ESTATES
LOT 43

14' MULTI PURPOSE EASEMENT

GRAND PINE HOMES
234-2415

DRIVEWAY

20'

29' 6"

Downspout
Pipe 4"

9' 6"

20'

Drive OK

FEE \$	10.00
TCP \$	1539.00
SIF \$	4600.00

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 627 SNEEDON PL
 Parcel No. 2443-053-77-043
 Subdivision FOREST ESTATES
 Filing 1 Block _____ Lot 43

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2219
 Sq. Ft. of Lot / Parcel 7293
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface
 (Total Existing & Proposed) 3944
 Height of Proposed Structure 25'

OWNER INFORMATION:

Name GRAND MESA Homes Inc
 Address PO Box 1373
 City / State / Zip GJ CO 81502

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name Same
 Address _____
 City / State / Zip _____
 Telephone 234-2415 Cell

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>RMF-5</u>	Maximum coverage of lot by structures <u>60%</u>
SETBACKS: Front <u>20'</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>5'</u> from PL Rear <u>25'</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35'</u>	Special Conditions _____
Voting District <u>D</u> Driveway Location Approval <u>NA</u> (Engineer's Initials)	

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 905, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct, I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Mark C. Jensen President Date 12-26-06
 Department Approval Wishu Pragna Date 12-29-06

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	W/O No. <u>9887</u>
Utility Accounting <u>[Signature]</u>	Date <u>12/29/06</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

70'

25'

25' utility easement

60

U/Hslu Craig 12/29/02

104.34

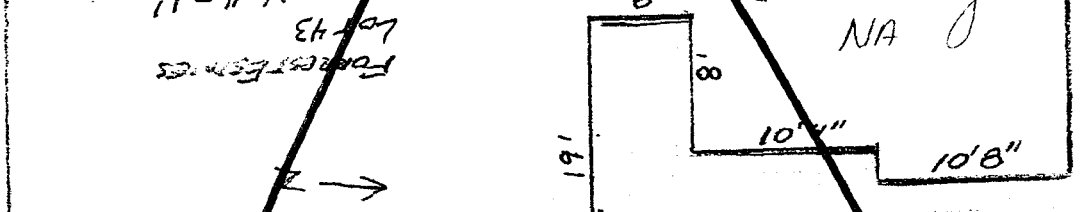
104' 4 1/8"

104.18
104' 4 1/8"

FOREST SERVICES
LOT 43
SCALE 3/32" = 1'

Drive okay
NA

60 wide
59 deep



12'4"

20'8"

DRIVE

20'

14' multi-purpose easement

627 SNEEDON PL

70'