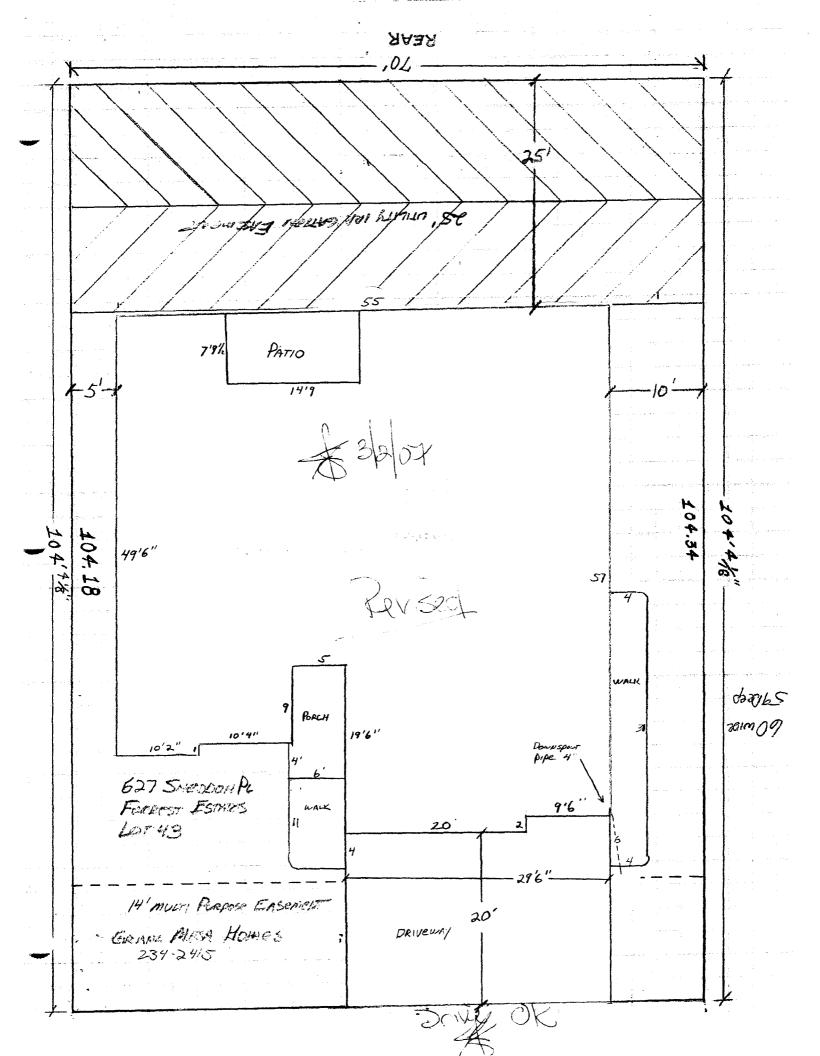
FEE\$ /// // DI /	NNING CLEARANCE	BLDG PERMIT NO.		
	ily Residential and Accessory Stru			
Con	nmunity Development Departme	· •		
		₹¥		
Building Address 627 5 Meol	No. of Exist	ing Bldgs O No. Proposed /		
Parcel No. 2443 (53 71)	<u> パイ</u> Sq. Ft. of E	xisting Bldgs Sq. Ft. Proposed/9		
Subdivision Forrest ESM.		ot / Parcel 7293		
Filing Block	Lot <u>43</u> Sq. Ft. Cove (Total Existi	Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 3944		
OWNER INFORMATION:		Height of Proposed Structure		
Name <u>GRAND MESA</u> Ha Address <u>PO Box 1373</u>	New Sir	FION OF WORK & INTENDED USE: ngle Family Home (*check type below) Remodel Addition blease specify):		
· · · · · · · · · · · · · · · · · · ·				
APPLICANT INFORMATION:	*TYPE OF	HOME PROPOSED: It Manufactured Home (UBC)		
Name <u>Some</u>	Manufa	Manufactured Home (HUD) Other (please specify):		
Address				
City / State / Zip	NOTES:			
ephone <u>234-2415</u>	Cell			
property lines, ingress/egress to the prop THIS SECTION TO BE CO	perty, driveway location & width & a MPLETED BY COMMUNITY DEV	bosed structure location(s), parking, setbacks to all all easements & rights-of-way which abut the parcel. ELOPMENT DEPARTMENT STAFF		
ZONE <u>KMIF-5</u>	Maximum	coverage of lot by structures		
SETBACKS: Front from pro		Foundation Required: YES X NO		
Side <u>5</u> from PL Rear	•	•		
Maximum Height of Structure(s)	35 Special Co	Special Conditions		
Voting District D Driveway Location A	Approval			
	cannot be occupied until a final in	v the Community Development Department. The spection has been completed and a Certificate of ection 305, Uniform Building Code).		
	ons which apply to the project. I ur	s correct; I agree to comply with any and all codes, iderstand that failure to comply shall result in legal building(s).		
Applicant Signature Mark C. Jean	to Presiter	Date 12-26-06		
epartment Approval <u>L///s/ic</u>	tian Fort	Date 12-29-04 Rey620 5/21		
Additional water and/or sewer tap fee(s)		W/O No. 988)		
Utility Accounting	, \			
VALUE FOR ANY DESCRIPTION FROM STO				

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)(White: Planning)(Yellow: Customer)(Pink: Building Department)(Goldenrod: Utility Accounting)



FEE \$ 10.00 PLANNING CLEA TCP \$ 1539.00 (Single Family Residential and A SIF \$ 4400.00 Community Development	ccessory Structures)	BLDG PERMIT NO.
Building Address 627 SNEODON PL	No. of Existing Bldgs _	No. Proposed /
Parcel No. 2443 - 053 77 - 043	Sq. Ft. of Existing Bldg	
Subdivision Agenest Estates	Sq. Ft. of Lot / Parcel	
Filing dock Lot		y Structures & Impervious Surface
OWNER INFORMATION	(Total Existing & Proposed Stru Height of Proposed Stru	sed) <u>3944</u>
Name GRAND MASA Homes INC		VORK & INTENDED USE:
Address PO Bx 1373	New Single Family	/ Home (<u>*ch</u> eck type below)
	Interior Remodel Other (please spec	cify):
City/State/Zip GJ Co 8/502		
APPLICANT INFORMATION:	YPE OF HOME PF	OPOSED: Manufactured Home (UBC)
Name <u>Some</u>	Manufactured Hon	
Address		iiy)
City / State / Zip	NOTES:	
Telephone 234-2415 Cell		
REQUIRED: One plot plan, on 8 1/2" x 11" paper showing ull ex property lines, ingress/egress to the property, priveway locatio	dsting & proposed struc n & width & all easemen	ture location(s), parking, setbacks to all ts & rights-of-way which abut the parcel.
THIS SECTION TO BE COMPLETED BY COM	UNITY DEVELOPME	NT DEPARTMENT STAFF
ZONE RALF-5	Maximum coverage o	Innoin
		f lot by structures
SETBACKS: Front 20 from property line (PL)		n Required: YES X NO
SETBACKS: Front <u>20</u> from property line (PL) Side <u>5</u> from PL Rear <u>25</u> from PL		n Required: YES_XNO
	Permanent Foundatio	n Required: YES_X_NO
Side <u>5'</u> from PL Rear <u>25'</u> from PL Maximum Height of Structure(s) <u>35'</u>	Permanent Foundation Parking Requirement	n Required: YES_X_NO
Side <u>5</u> from PL Rear <u>25</u> from PL Maximum Height of Structure(s <u>35</u> Voting District <u>D</u> Driveway Location Approval <u>MA</u> (Engineer's Initials)	Permanent Foundation Parking Requirement Special Conditions	n Required: YES_X_NO
Side <u>5</u> from PL Rear <u>25</u> from PL Maximum Height of Structure(s <u>35</u> Voting District) Driveway Location Approval NA	Permanent Foundation Parking Requirement Special Conditions in writing, by the Communitian final inspection has	n Required: YES_X_NO
Side 5' from PL Rear 25' from PL Maximum Height of Structure(s 35' Voting District 0 Driveway Location Approval MA (Engineer's Initials) Modifications to this Planning Clearance must be approved, structure authorized by this application cannot be occupied upper structure	Permanent Foundation Parking Requirement Special Conditions in writing, by the Comm ntil a final inspection has partment (Section 805, information is correct, L project. I understand th	n Required: YES_X_NO
Side 5' from PL Rear 25' from PL Maximum Height of Structure(si 35' Voting District 0 Driveway NA Location Approval NA (Engineer's Initials) Modifications to this Planning Clearance must be approved, structure authorized by this application cannot be occupied u Occupancy has been issued, if applicable, by the Building Deplication and the ordinances, laws, regulations or restrictions which apply to the	Permanent Foundation Parking Requirement Special Conditions in writing, by the Comm ntil a final inspection has partment (Section 805, information is correct, to project. I understand the project. I understand the	n Required: YES_X_NO
Side 5' from PL Rear 25' from PL Maximum Height of Structure(si 35' Voting District 0 Driveway NA Location Approval NA (Engineer's Initials) Modifications to this Planning Clearance must be approved, structure authorized by this application cannot be occupied u Occupancy has been issued, if applicable, by the Building Deplication and the ordinances, laws, regulations or restrictions which apply to the action, which may include but not necessarily be limited to not	Permanent Foundation Parking Requirement Special Conditions in writing, by the Comm ntil a final inspection has partment (Section 805, information is correct, to project. I understand the project. I understand the	n Required: YES_X_NO
Side 5' from PL Rear 25' from PL Maximum Height of Structure(s 35' Voting District 0 Driveway MA Location Approval MA (Engineer's Initials) Modifications to this Planning Clearance must be approved, structure authorized by this application cannot be occupied u Occupancy has been issued, if applicable, by the Building Deplication and the ordinances, laws, regulations or restrictions which apply to the action, which may include but not necessarily be limited to not prove the action, which may include but not necessarily be limited to not applicant Signature	Permanent Foundation Parking Requirement Special Conditions in writing, by the Comm ntil a final inspection has partment (Section 805, information is correct, Liproject. I understand the project. I understand the project. I understand the project. I understand the project is th	In Required: YES X NO $ 2 nunity Development Department. The as been completed and a Certificate of Uniform Building Code). agree to comply with any and all codes, hat failure to comply shall result in legal 12 - 26 - 26$
Side 5' from PL Rear 25' from PL Maximum Height of Structure(si 35' Voting District 0 Driveway Uncertain Approval MA Modifications to this Planning Clearance must be approved, structure authorized by this application cannot be occupied u Occupancy has been issued, if applicable, by the Building Deportment Approval I have read this application and the ordinances, laws, regulations or restrictions which apply to the action, which may include but not necessarily be limited to not Applicant Signature Matt C. January Department Approval Misku Mature	Permanent Foundation Parking Requirement Special Conditions in writing, by the Comm ntil a final inspection has partment (Section 805, information is correct, Liproject. I understand the project. I understand the project. I understand the project. I understand the project is th	In Required: YES X NO 2 In unity Development Department. The as been completed and a Certificate of Uniform Building Code). agree to comply with any and all codes, nat failure to comply shall result in legal 12 - 26 - 26 12 - 29 - 00

