

Planning \$ <u>Pd W/SPR</u>	Draina <u>A</u>
TCP \$ <u>A</u>	School Impact \$ <u>N/A</u>

DG PERMIT NO.
FILE # <u>MSP-2006-246</u>

## PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)  
**Grand Junction Community Development Department**

THIS SECTION TO BE COMPLETED BY APPLICANT

2886-1815  
 BUILDING ADDRESS 250 White Ave.  
 SUBDIVISION City of GJT  
 FILING \_\_\_\_\_ BLK \_\_\_\_\_ LOT \_\_\_\_\_  
 OWNER Bishop of Pueblo  
 ADDRESS 1001 N Grand Ave  
 CITY/STATE/ZIP Pueblo Co. 81003  
 APPLICANT J. B. Woodson  
 ADDRESS 2922 F<sup>1</sup>/<sub>2</sub> Rd  
 CITY/STATE/ZIP Grand Jct. Co 81504  
 TELEPHONE 970-261-8650

TAX SCHEDULE NO. 2945143-02-959  
 SQ. FT. OF EXISTING BLDG(S) 0  
 SQ. FT. OF PROPOSED BLDG(S)/ADDITONS 2700 sq ft  
 MULTI-FAMILY:  
 NO. OF DWELLING UNITS: BEFORE 0 AFTER 1  
 CONSTRUCTION  
 NO. OF BLDGS ON PARCEL: BEFORE 0 AFTER 1  
 CONSTRUCTION  
 USE OF ALL EXISTING BLDG(S) Home -  
 DESCRIPTION OF WORK & INTENDED USE: NEW -  
Construction Housing -

*Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.*

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>B-2</u> SETBACKS: FRONT: <u>15'</u> from Property Line (PL) or _____ from center of ROW, whichever is greater SIDE: _____ from PL REAR: _____ from PL MAX. HEIGHT <u>65'</u> MAX. COVERAGE OF LOT BY STRUCTURES <u>FAR 8.00</u>	LANDSCAPING/SCREENING REQUIRED: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> PARKING REQUIREMENT: <u>4</u> SPECIAL CONDITIONS: _____ _____ _____
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Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

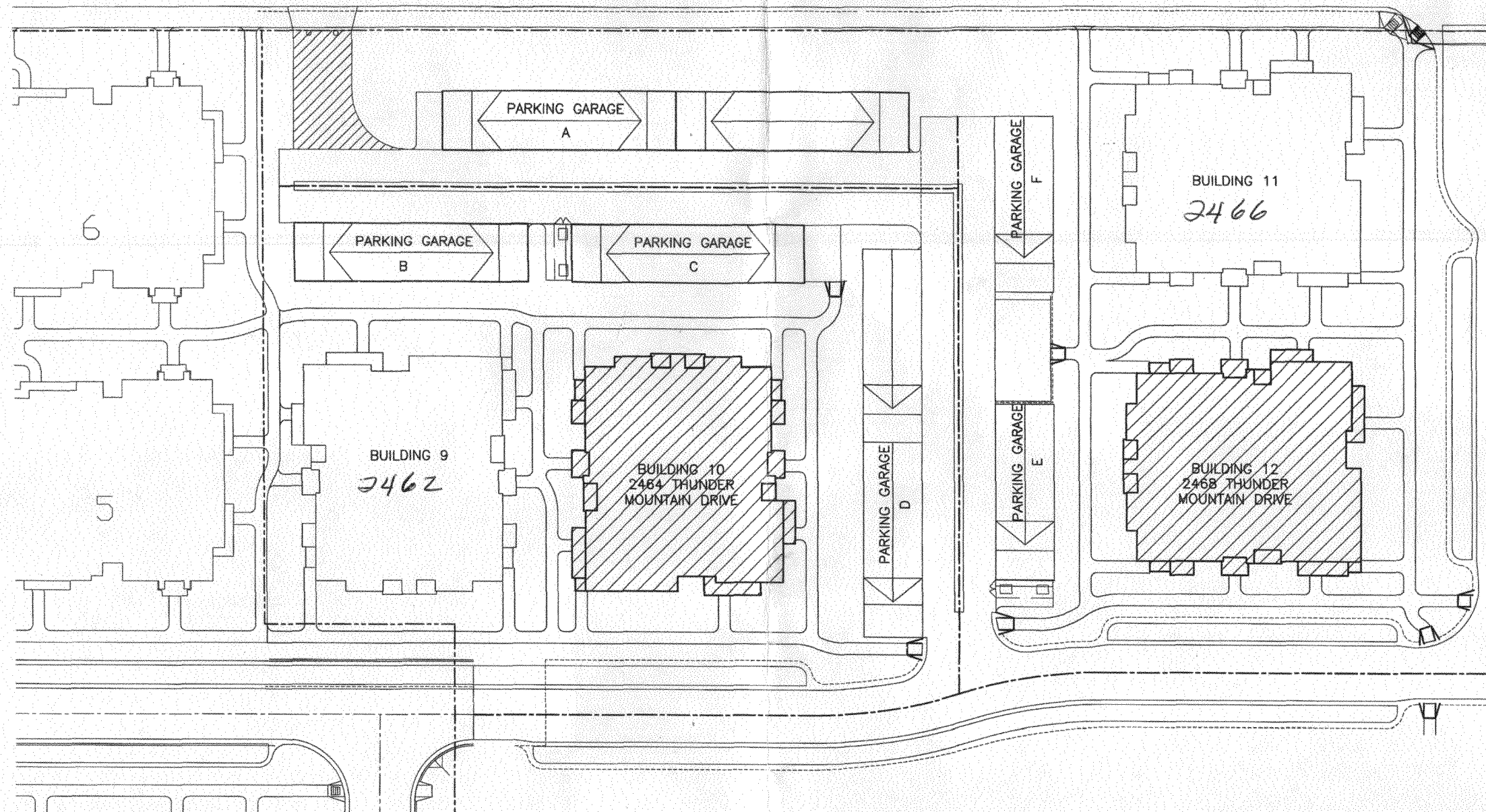
Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

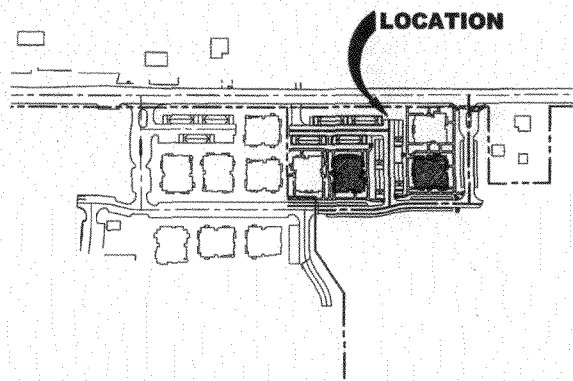
Applicant's Signature <u>John Agencis</u>	Date <u>8-21-06</u>
Department Approval <u>Scott J. Cristofello</u>	Date <u>11/8/06</u>

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>No Change</u>
Utility Accounting <u>[Signature]</u>	Date <u>11/14/06</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning and Development Code)



**SITE PLAN**  
1"=20'



**SITE LOCATION PLAN**  
N.T.S.

**NOTE:**  
PER 2003 BUILDING CODE ADA REQUIREMENT,  
UNIT A IN BUILDINGS 9, 10, AND 12 ARE TO  
BE TYPE A ACCESSIBLE PER STATE STATUTE  
POINT SYSTEM.

ACCEPTED *[Signature]* 11/21/02  
ANY CHANGE OR SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPT. IT IS THE APPLICANT'S  
RESPONSIBILITY TO PROPERLY  
LOCATE AND IDENTIFY EASEMENTS  
AND PROPERTY LINES.

UNIT #	FINISHED FLOOR SQ. FT.	OUTSIDE COVERED SQ. FT.	TOTAL SQ. FT.
UNIT 1A	1,180	120	1,280
UNIT 1B	1,214	84	1,298
UNIT 1C	1,214	84	1,298
UNIT 1D	1,188	88	1,255
UNIT 2A	1,228	170	1,398
UNIT 2B	1,260	120	1,380
UNIT 2C	1,260	120	1,380
UNIT 2D	1,233	78	1,311

SHEET SCHEDULE	
SHEET	CONTENT
SP1	Site/Area Plan
A1	Main Level Floor Plan
A1a	Main Level Dimension Plan
A2	Upper Level Floor Plan
A2a	Upper Level Dimension Plan
A3	Exterior Elevations 1 & 2
A4	Exterior Elevations 3 & 4
A5	Roof Plan
A6	Sections and Details
A7	Handicap Bath & Kitchen Elevations
S1.0	Structural General Notes
S1.1	Foundation Plan
S1.2	2nd Level Framing Plan
S1.3	Roof Framing Plan
S1.4	Structural Sections and Details
M1-10-12	Mechanical Plan
M2	Sections
M3	Schedules
E1	First Level Electrical Plan
E2	Second Level Electrical Plan
E3.1	Electrical Site Plan

NO.	DATE	REVISIONS
1	7/12/06	DESIGNER
2		ENGINEER
3		CHECKER

ARCHITECTS AND PLANNERS  
917 MAIN STREET  
GRAND JUNCTION  
COLORADO 81501  
(970) 241-1903

**design** specialists

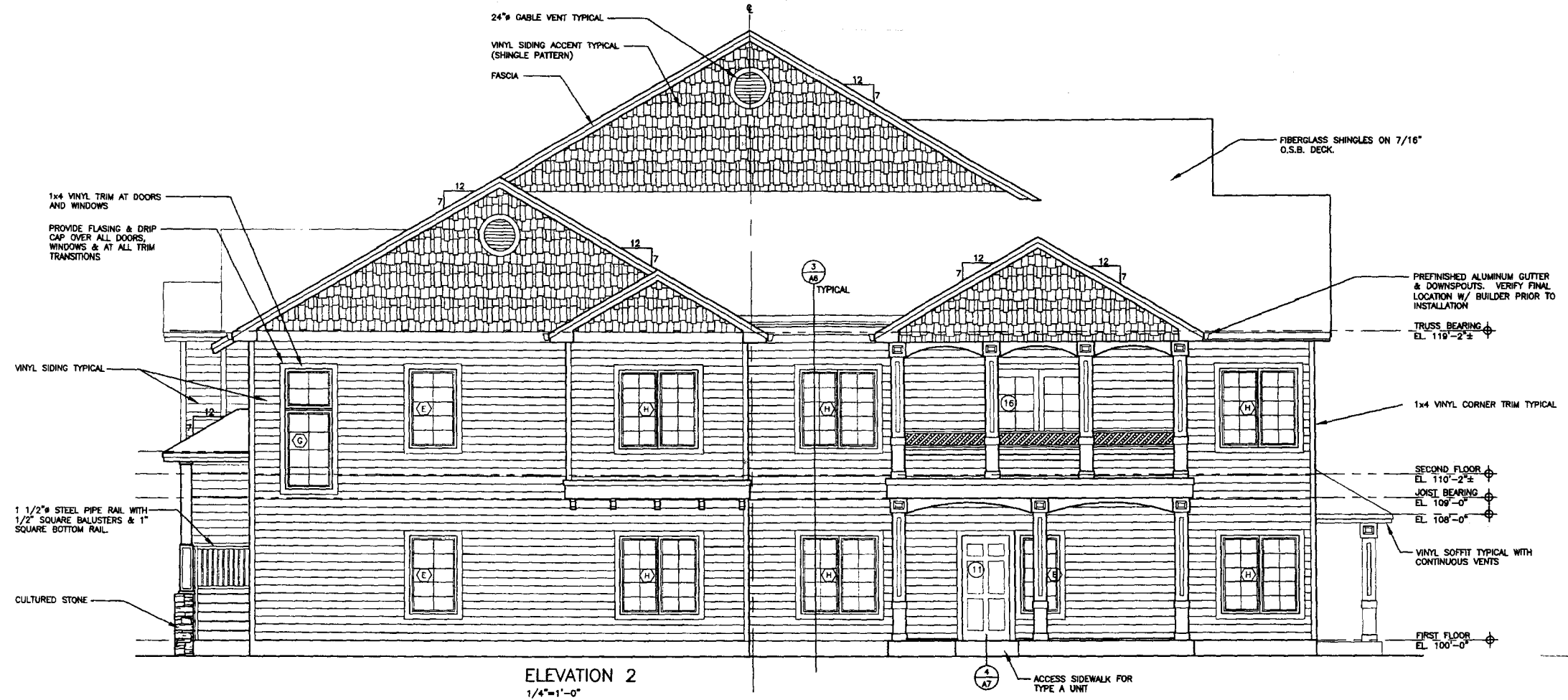
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BUILDINGS 10 AND 12  
Grand Junction, CO

SHEET TITLE: SITE/AREA PLAN

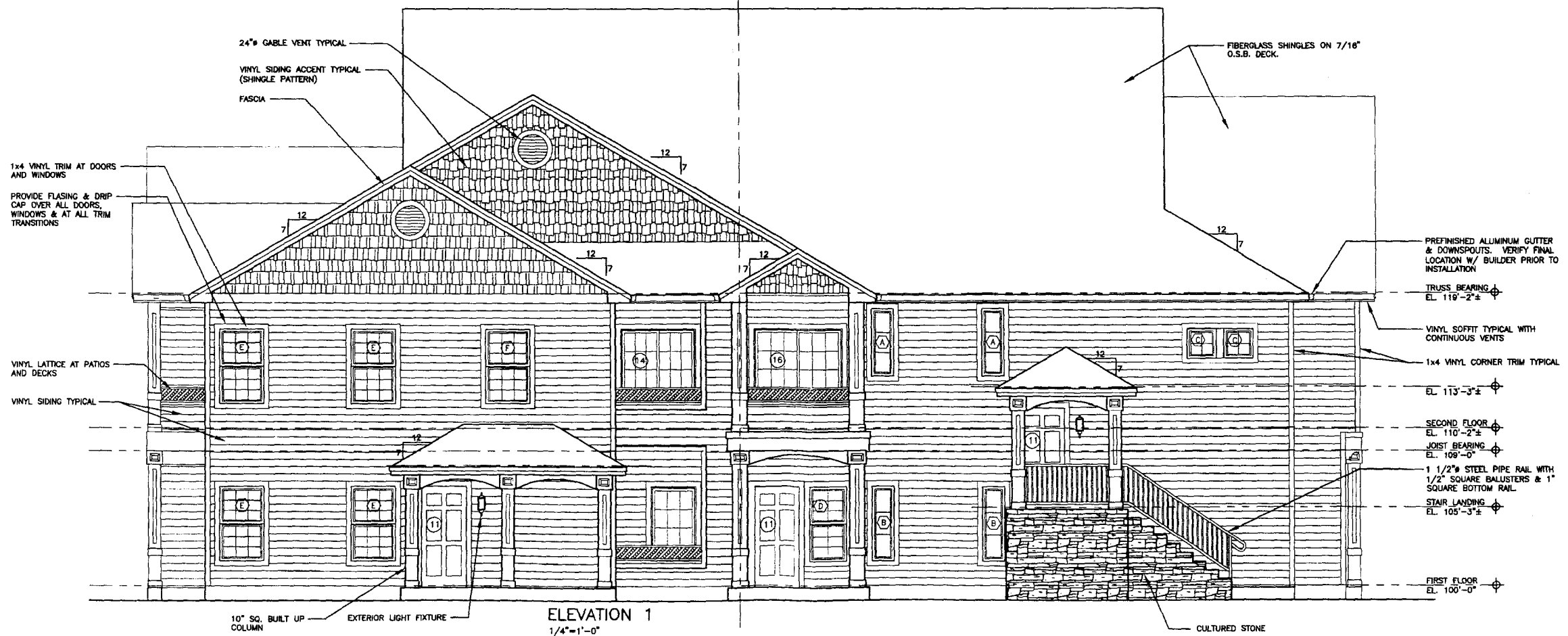
DRAWING

**ASP1**

SHEET 1 OF 21



ELEVATION 2  
1/4"=1'-0"



ELEVATION 1  
1/4"=1'-0"

40'0"

NO. DATE REVISIONS

ARCHITECTS AND PLANNERS  
917 MAIN STREET  
GRAND JUNCTION COLORADO 81501  
(970) 241-1903

**design** specialists

PROJECT TITLE: THE SUNDANCE VILLAGE BUILDINGS 10 AND 12  
Grand Junction CO

SHEET TITLE: ELEVATIONS 1 & 2

DRAWING

A3

SHEET 6 OF 21

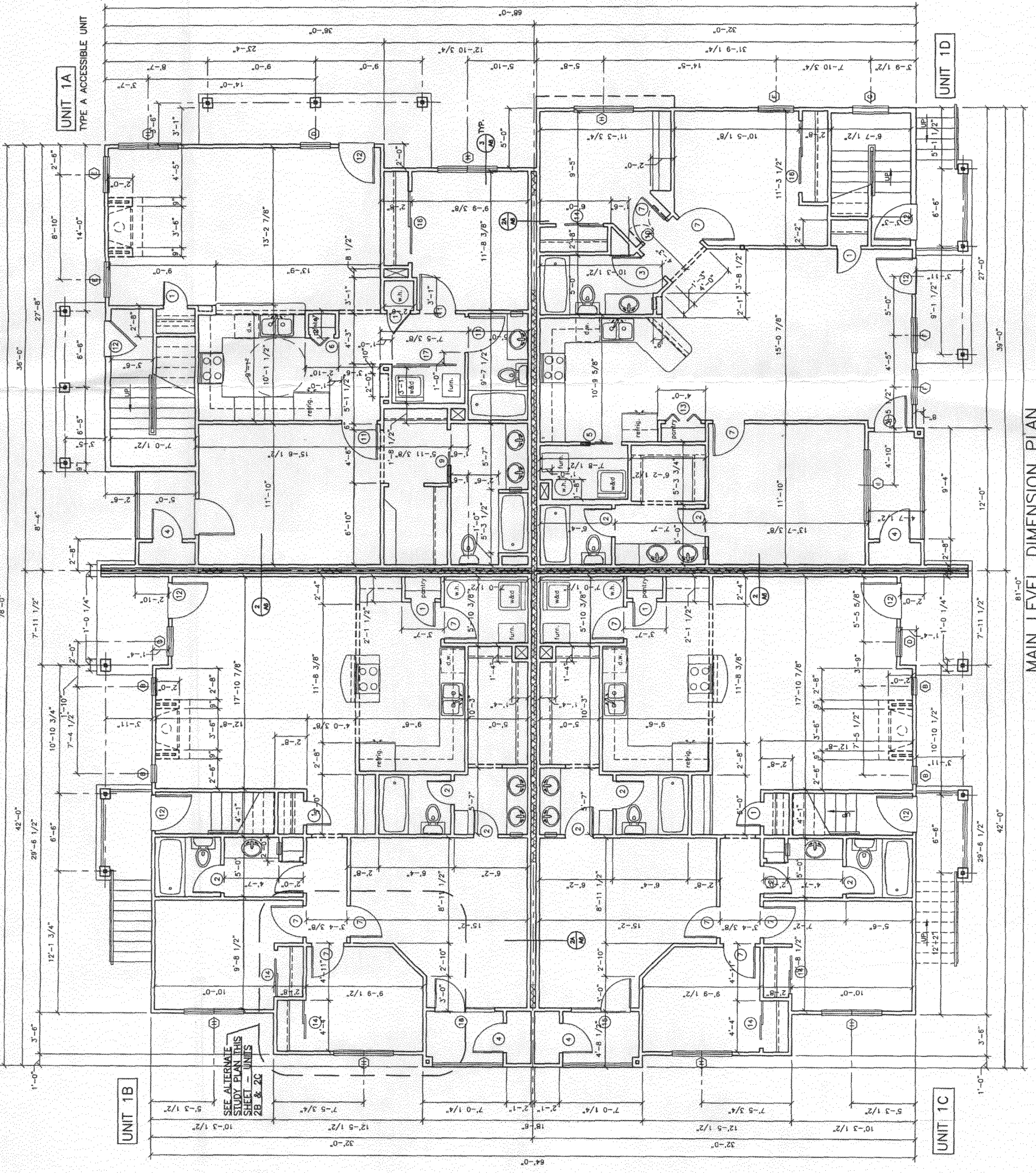
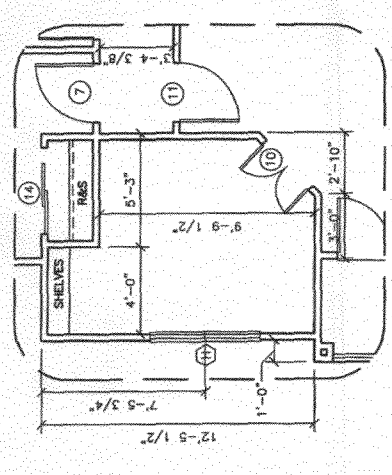
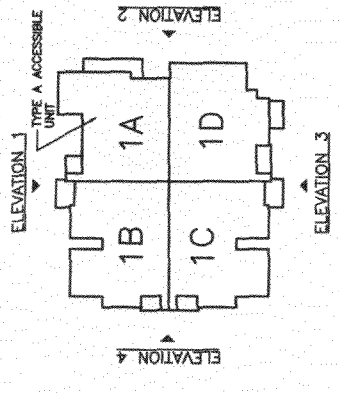
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ENGINEER: [blank]  
CHECK: [blank]



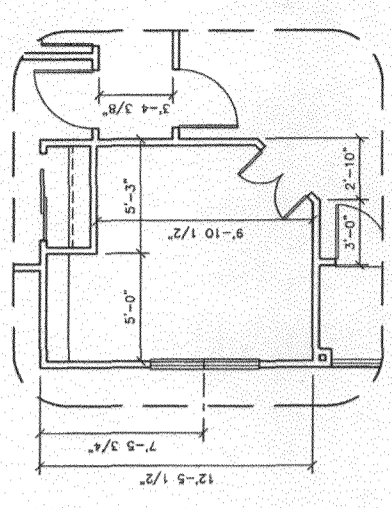
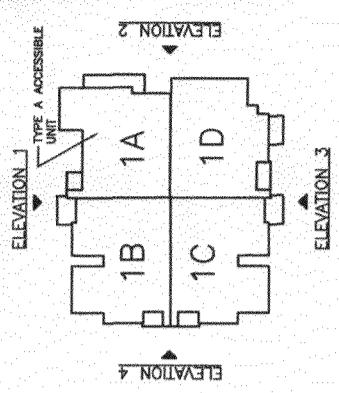
PROJECT TITLE: THE SUNDAUCE VILLAGE BUILDINGS 10 AND 12  
Grand Junction, Colorado  
SHEET TITLE: MAIN LEVEL FLOOR PLAN

ARCHITECTS AND PLANNERS  
917 MAIN STREET  
GRAND JUNCTION  
COLORADO 81501  
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SPECIALISTS

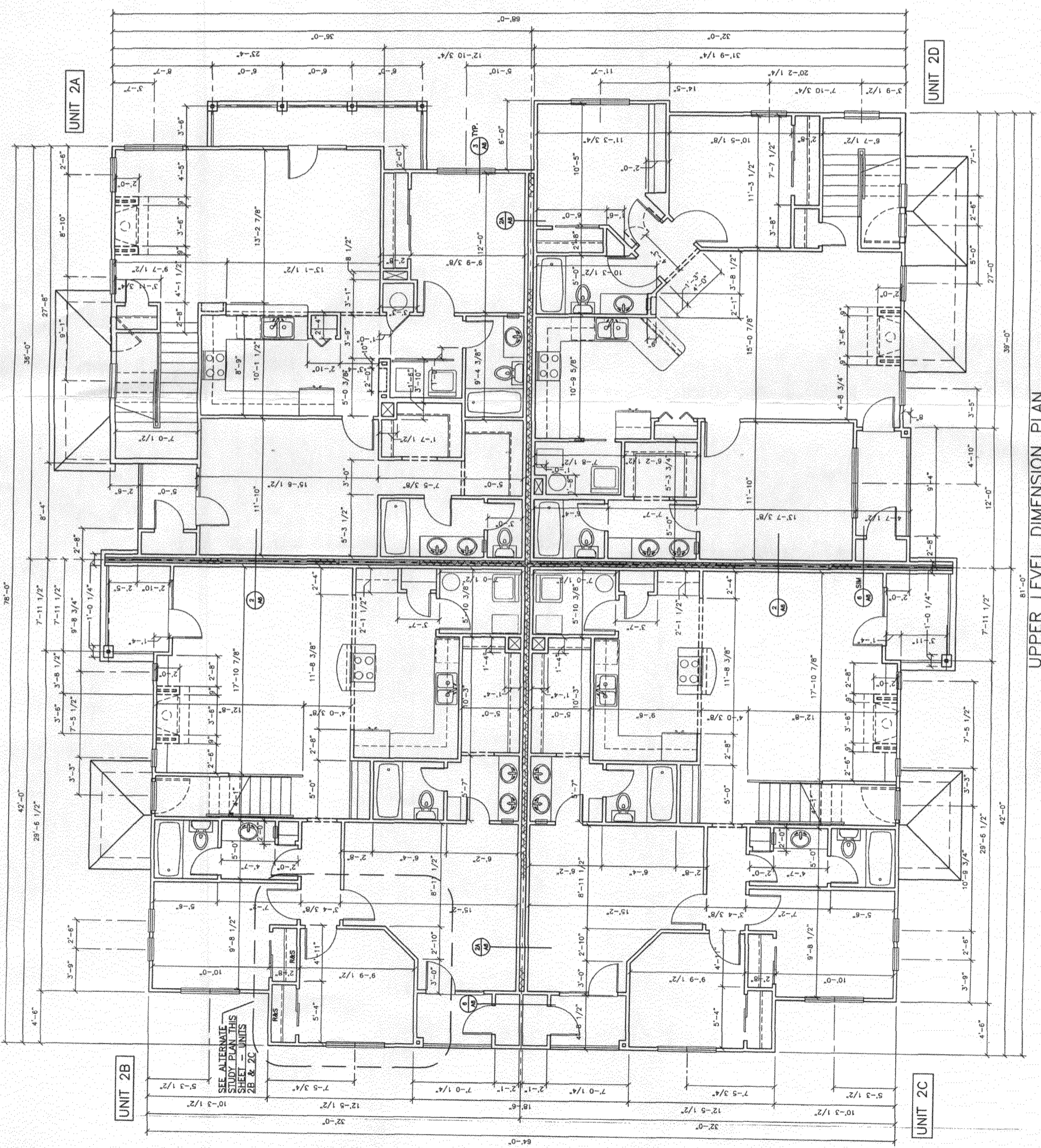
NO. DATE REVISIONS  
DESIGNER: 7/12/06  
DRAWN: JOB NO. 0564  
CHECK:







ALTERNATE STUDY PLAN  
1/4"=1'-0"



UPPER LEVEL DIMENSION PLAN  
1/4"=1'-0"