

FEE \$
TCP \$
SIF \$

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. _____

Building Address 615 293/8 Rd.
 Parcel No. 2943-053-64-002
 Subdivision Del Mar Subdivision
 Filing _____ Block _____ Lot _____

No. of Existing Bldgs 1 No. Proposed _____
 Sq. Ft. of Existing Bldgs 1760 Sq. Ft. Proposed 2301
 Sq. Ft. of Lot / Parcel 9150
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface
 (Total Existing & Proposed) _____
 Height of Proposed Structure _____

OWNER INFORMATION:

Name James E & Dedra K. Burns
 Address 615 293/8 Rd.
 City / State / Zip Grand Junction, CO 81504

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): Foundation Only
no water or sewer.

APPLICANT INFORMATION:

Name James E. Burns
 Address 615 293/8 Rd.
 City / State / Zip Grand Jt., CO 81504
 Telephone 970-314-2820

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>PD</u>	Maximum coverage of lot by structures _____
SETBACKS: Front <u>30</u> from property line (PL)	Permanent Foundation Required: YES _____ NO _____
Side <u>10</u> from PL Rear <u>30</u> from PL	Parking Requirement _____
Maximum Height of Structure(s) <u>35</u>	Special Conditions _____
Voting District _____	Driveway Location Approval _____ (Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

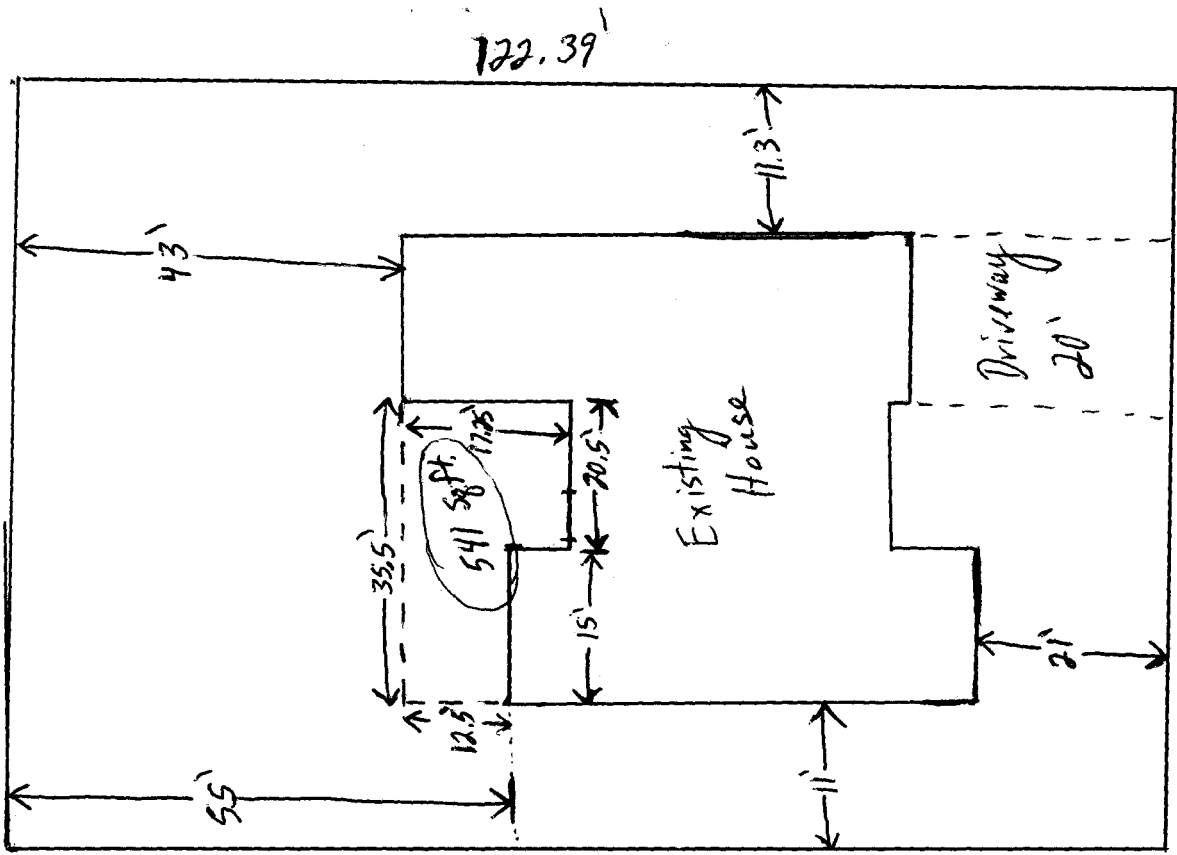
Applicant Signature James E. Burns Date 05/30/07
 Department Approval Wendy Spurr Date 5/30/07

Additional water and/or sewer tap fee(s) are required: YES _____ NO <input checked="" type="checkbox"/> W/O No <u>prem 26237</u>
Utility Accounting <u>Cate Cusberry</u> Date <u>5/30/07</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 22.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

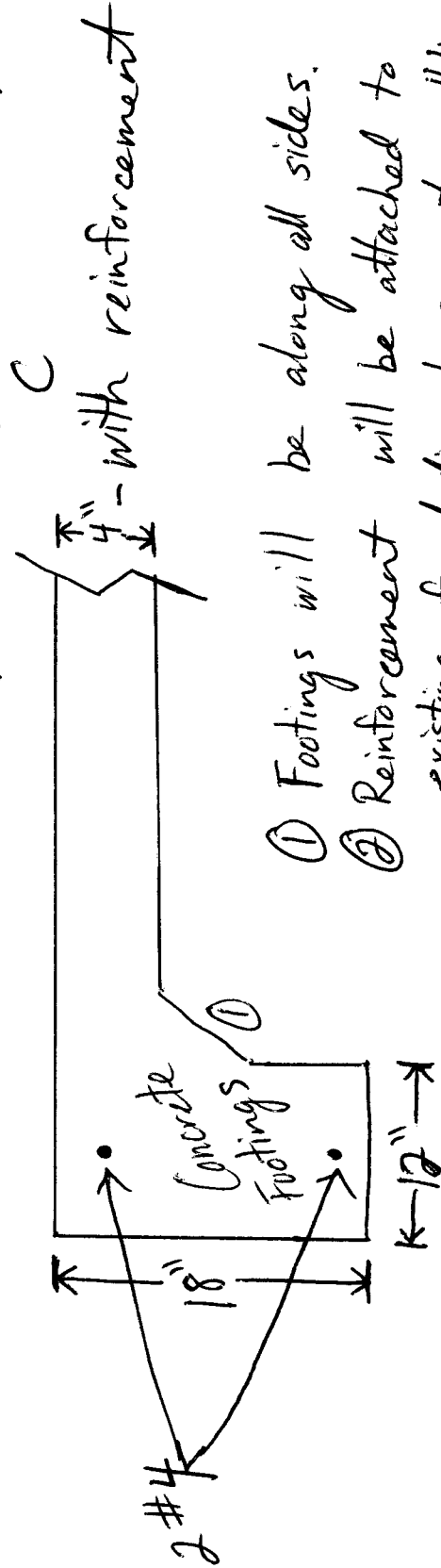
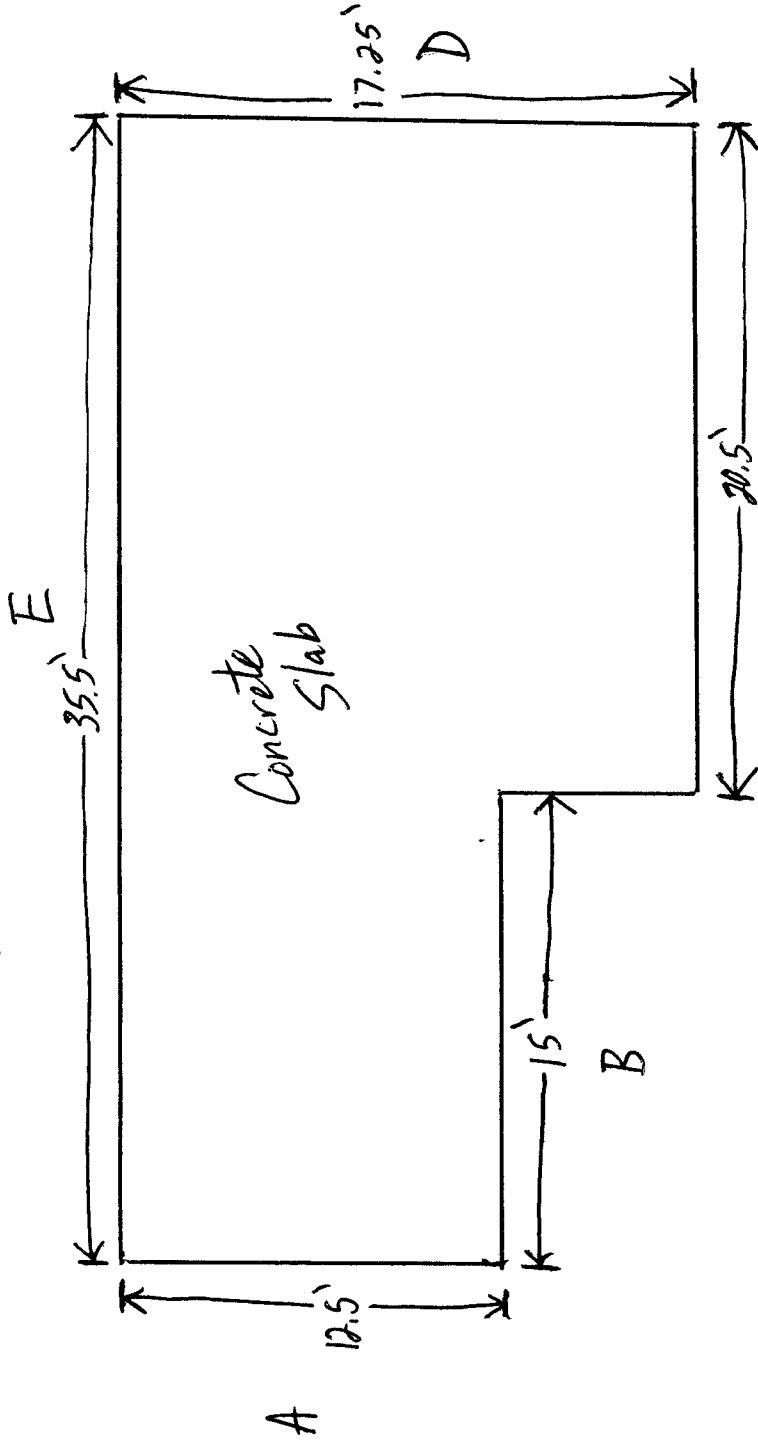
- 615 29 3/8 Rd. -

Addition Project



NOTED: *Wendy Spurr* foundation only
 ALL CHANGES OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING
 DEPT. AND THE APPLICANT'S
 ENGINEER. ALL CHANGES
 TO THE EXISTING FOUNDATION
 MUST BE APPROVED BY THE

Foundation Sketch (615 29³/₈ Rd. - Grand Junction, CO)



- ① Footings will be along all sides.
- ② Reinforcement will be attached to existing foundation to prevent setting. (Walls B, C, & D)
- ③ All concrete will have rebar reinforcement.

Wendy Spure
 ANY CHANGES OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. FOR THE CITY OF GRAND JUNCTION, COLORADO. STATE AND LOCAL CASEMENTS.

foundation Only