

Planning \$	Drainage \$ <u>356.54</u>
TCP \$	School Impact \$

BLDG PERMIT NO.
FILE # <u>SPR-2006-167</u>

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

102695-291
 BUILDING ADDRESS 645 4TH AVE
 SUBDIVISION N/A
 FILING _____ BLK _____ LOT _____
 OWNER VAN CUNY STREET YARD
 ADDRESS 645 4TH AVE
 CITY/STATE/ZIP GT CO
 APPLICANT RANDY VAN CUNY
 ADDRESS 645 4TH AVE
 CITY/STATE/ZIP GT CO 81501
 TELEPHONE 242-9500

TAX SCHEDULE NO. 2945-232-02-015
 SQ. FT. OF EXISTING BLDG(S) N/A
 SQ. FT. OF PROPOSED BLDG(S)/ADDITONS N/A
MULTI-FAMILY:
 NO. OF DWELLING UNITS: BEFORE _____ AFTER _____
 CONSTRUCTION
 NO. OF BLDGS ON PARCEL: BEFORE _____ AFTER _____
 CONSTRUCTION
 USE OF ALL EXISTING BLDG(S) Added Asphalt
 DESCRIPTION OF WORK & INTENDED USE: ADD = ADDITIONAL PAVING @ 0.2 AC

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>I-1</u> SETBACKS: FRONT: <u>n/a</u> from Property Line (PL) or from center of ROW, whichever is greater SIDE: _____ from PL REAR: _____ from PL MAX. HEIGHT <u>per plan</u> MAX. COVERAGE OF LOT BY STRUCTURES <u>per plan</u>	LANDSCAPING/SCREENING REQUIRED: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> <u>per SPR-2006-167 plan</u> PARKING REQUIREMENT: <u>per plan</u> SPECIAL CONDITIONS: _____ _____ _____
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Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature Randy Van Cundy Date 11-8-07
 Department Approval (Attached) Rick Davis Date 11-9-07

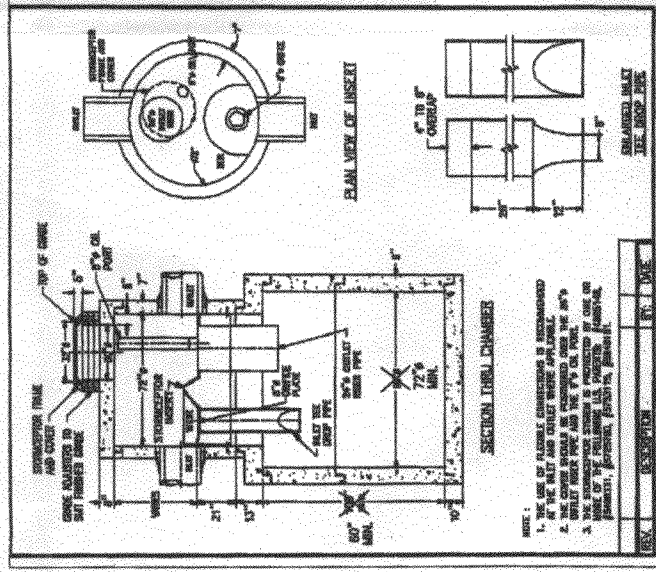
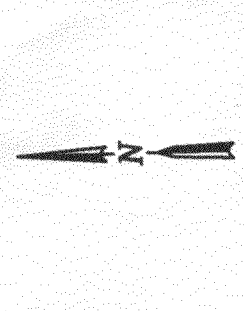
Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No. <u>NO SEWER/WATER CHANGE</u>
Utility Accounting <u>[Signature]</u>	Date <u>11/15/07</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning and Development Code)

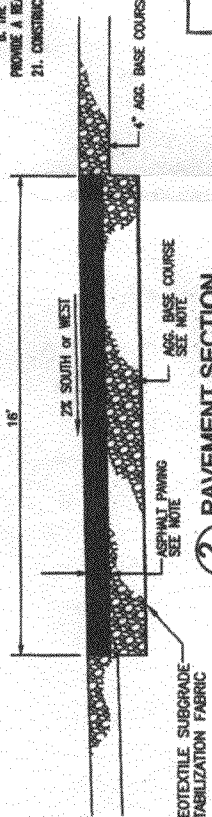
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

GRADING UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR VERTICATING OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.2% MIN. SLOPE AWAY FROM ALL ENTRANCES TO PREVENT PONDING. ANY DISCREPANCIES SHALL BE PROVIDED TO THE ENGINEER IN WRITING IMMEDIATELY.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED IMMEDIATELY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SHIMMERT SEWER AND ALL OTHER UTILITY SERVICES COMPANIES SHALL BE ADVISED IMMEDIATELY BY THE CONTRACTOR IN WRITING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL SERVICES SHALL BE REPEATED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE IMMEDIATELY AT THE POINTS INDICATED WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SURFACE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MOVED PROCTOR METHOD).
- ALL SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YELLOWING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MOISTURE PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPLETION REPORT PREPARED BY A QUALIFIED, LICENSED, SOILS ENGINEER, CERTIFYING THAT THE SUBGRADE WITHIN THE AREAS TO BE PAVED HAS BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
- WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" DIAMETER SHALL BE AS NOTED ON PLANS AND SHALL BE INSTALLED WITH 3" MINIMUM COVER OR BELOW FROSTLINE WHICHEVER IS GREATER. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPROPRIATEMENTS REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- CONTRACTOR SHALL INSTALL ROOF DRAINS AS SHOWN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES INSPECTION BY THE CITY OF GRAND JUNCTION. CONTRACT MARK BACKLASH AT 970-201-1382 PRIOR TO CONSTRUCTION IN THE RIGHT-OF-WAY.
- MAINTENANCE OF ANY STORMWATER MANAGEMENT FACILITY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS FOR PRIVATE STORMWATER MANAGEMENT FACILITIES AND SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE ASSIGNEES.
- SLOPES GREATER THAN 2H:1V SHALL BE STABILIZED WITH TURF REINFORCEMENT MAT (SYNTHETIC INDUSTRIES LAMOLIN TM 450 OR EQUIVALENT MATERIAL) AND PERMANENT VEGETATIVE COVER AT COMPLETION OF FINAL GRADING OF THE SLOPE.
- ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE GENERAL CONDITIONS AND STANDARDS OF SPECIFICATIONS OF THE CITY OF GRAND JUNCTION AND MESA COUNTY, UNLESS OTHERWISE NOTED.
- FOR TYPES OF STRUCTURES, REFER TO THE LATEST STORMWATER MANAGEMENT STANDARD DETAILS, CDDT AND CITY OF GRAND JUNCTION UNLESS OTHERWISE NOTED.
- TRUCKS FOR PIPES IN TRENCH SHALL BE FILLED WITH SELECT COMPACTED GRANULAR MATERIAL TO INSURE FIRM BEDDING FOR PIPE AS PER THE CITY OF GRAND JUNCTION STANDARDS.
- ALL UTILITY SERVICES ARE TO HAVE 3" MIN. COVER. WATER MAINS ARE TO HAVE 54" COVER UNLESS OTHERWISE NOTED.
- ALL WATER LINES AND APPURTENANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE UTE WATER STANDARDS AND DETAILS.
- CONTRACTOR MUST NOTIFY THE CITY OF GRAND JUNCTION TRAFFIC OPERATIONS SUPERVISOR PRIOR TO CONSTRUCTION OR PLACEMENT OF TRAFFIC CONTROL DEVICES/FEATHERS (STROBES, SIGNALS, BEARINGS, ETC.).
- CONTRACTOR TO PERFORM TEST PITS TO CONFIRM ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. SHOULD UTILITY CONTACTS ARISE DURING CONSTRUCTION, AN ALTERNATIVE DESIGN WILL BE REQUIRED THAT IS FUNCTIONALLY EQUIVALENT TO THE PERMITTED DESIGN AND WILL REQUIRE APPROVAL FROM THE CITY OF GRAND JUNCTION.
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREBY APPROPRIATE.
- SURFACE RESTORATION SHALL BE AS FOLLOWS:
 - THE GRADE ALL AREAS RESTORED BY THE CONSTRUCTION OPERATIONS AFTER COMPLETION OF BACKFILLING AND COMPACTING. AREAS WHICH ARE TO RECEIVE PAVEMENTS, SIDEWALKS, TOPSOIL OR LANDSCAPING SHALL BE GRADED AS REQUIRED TO ALLOW INSTALLATION OF THE SPECIFIC SURFACE TREATMENT. GRADE ALL OTHER AREAS TO MATCH THE EXISTING GROUND LINE.
 - REPLACE AND REPAIR ANY SURFACE IMPROVEMENTS DAMAGED OR REMOVED. CONFORM TO CITY OF GRAND JUNCTION STANDARDS.
- STORMWATER PAVEMENT
 - STORMWATER PAVEMENT SHALL BE DESIGNED TO CLEAN STRAIGHT LINES AT THE LOCATIONS INDICATED ON PLANS. WIDTH OF REMOVAL FOR PAVEMENTS SHALL BE LEFT TO A MINIMUM AS INDICATED BY TRENCH EXCAVATION, BUT SHALL EXTEND AT LEAST 6 INCHES BEYOND THE LIMITS OF TRENCH EXCAVATION.
 - THE CUT SHALL BE MADE WITH PAVEMENT CUTTING WHEEL, SAW OR OTHER APPROVED METHOD, SO AS TO PROVIDE A REASONABLY STRAIGHT AND SQUARE EDGE.
- CONSTRUCT CONCRETE WALKS, CURB, AND GUTTER TO MATCH EXISTING SURFACE IMPROVEMENTS.

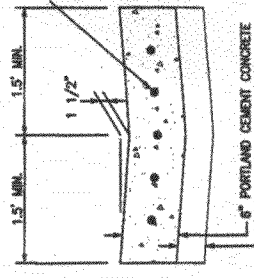


3 HYDRO CONDUIT DETAIL
STC-1200
N.T.S.



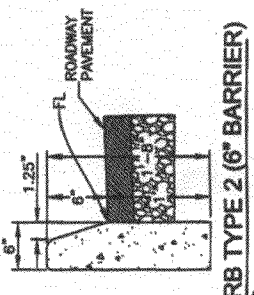
2 PAVEMENT SECTION
N.T.S.

- NOTE: AC PAVING SHALL BE:
- 4" AC ON 1.5" ABC FOR PARKING AREAS
 - 5" AC ON 1.5" ABC FOR TRUCK TRAVEL LANES



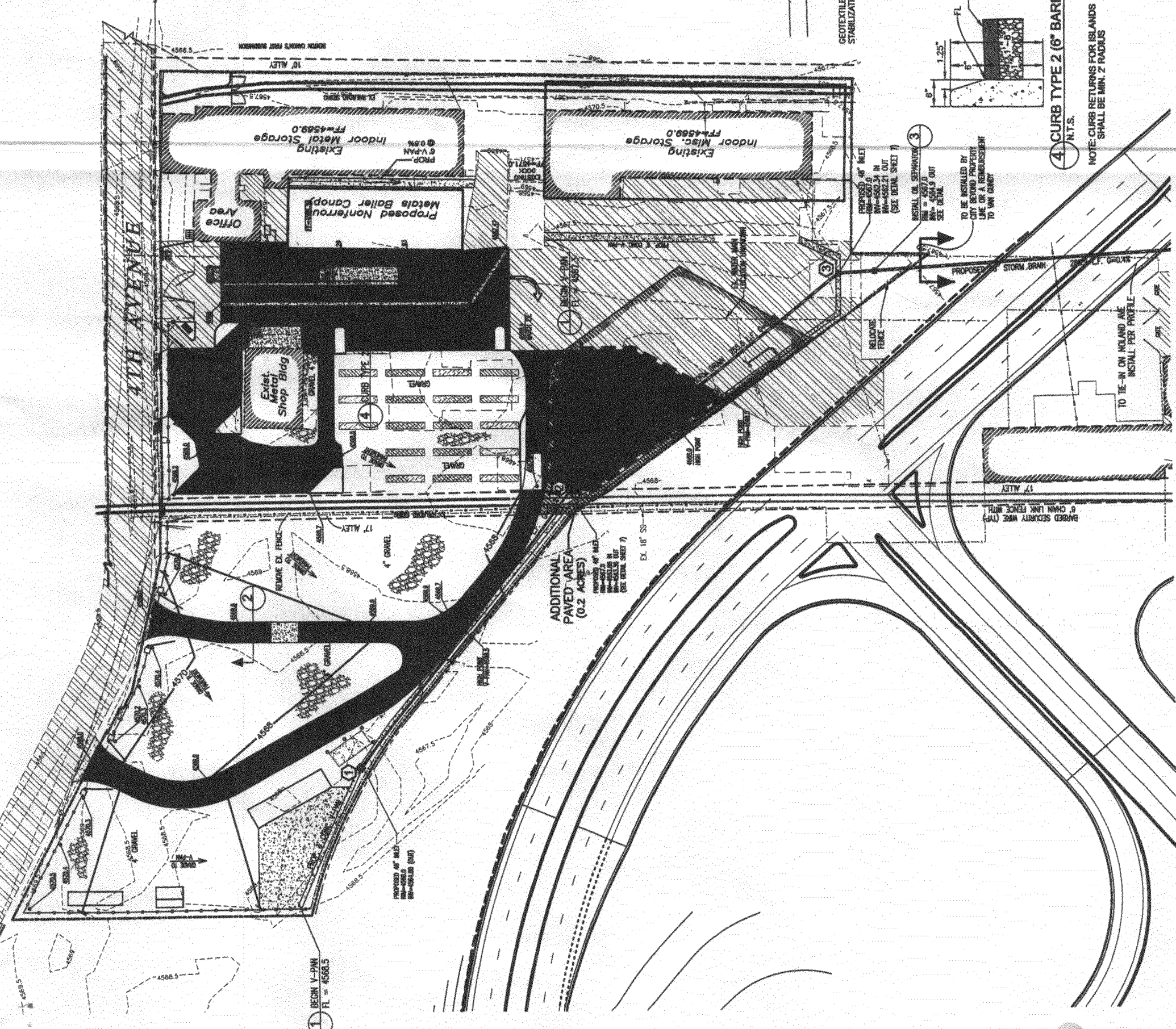
1 V-PAN DETAIL AND JOINT REINFORCEMENT SECTION
N.T.S.

NOTE: V-PANS SHALL BE 3' OR 6' WIDE AS PER PLANS



4 CURB TYPE 2 (6" BARRIER)
N.T.S.

NOTE: CURB RETURNS FOR ISLANDS SHALL BE MIN. 7 RADIUS



APPROVAL/SIGNATURE BLOCK

CITY ENGINEER: *[Signature]* DATE: 11-6-07

COMMUNITY DEVELOPMENT: *[Signature]* DATE: 11-6-07

Vortez Engineering, Inc
CONSTRUCTION MANAGERS & SITE PLANNERS • • • PROJECT MANAGERS • • • CIVIL & CONSULTING ENGINEERS
255 Vista Valley Drive
Ft. Collins, Colorado 80521
Phone: (970) 245-5061
Fax: (970) 245-7058

PROJECT: Van Gundy Recycle Center/Salvage Yard
645 4th Avenue
Grand Junction, Colorado

R.W. JONES II
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEER
No. 102927
State of Colorado

UTILITY, GRADING & DRAINAGE PLAN

SHEET NO. 5 OF 7

NO.	DESCRIPTION	QTY.	UNIT	PRICE
1.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50
2.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50
3.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50
4.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50
5.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50
6.	Asphalt Paving for Grand Junction	10,000	SQ. YD.	1.50

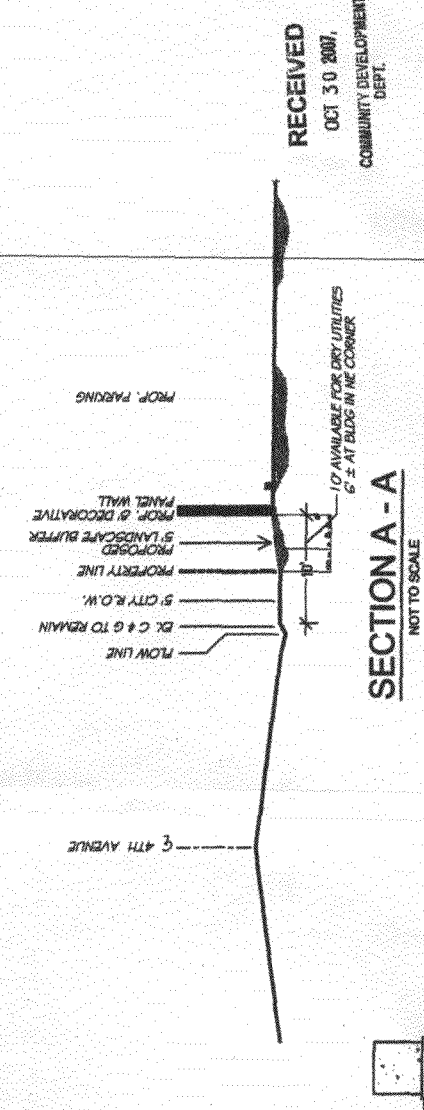
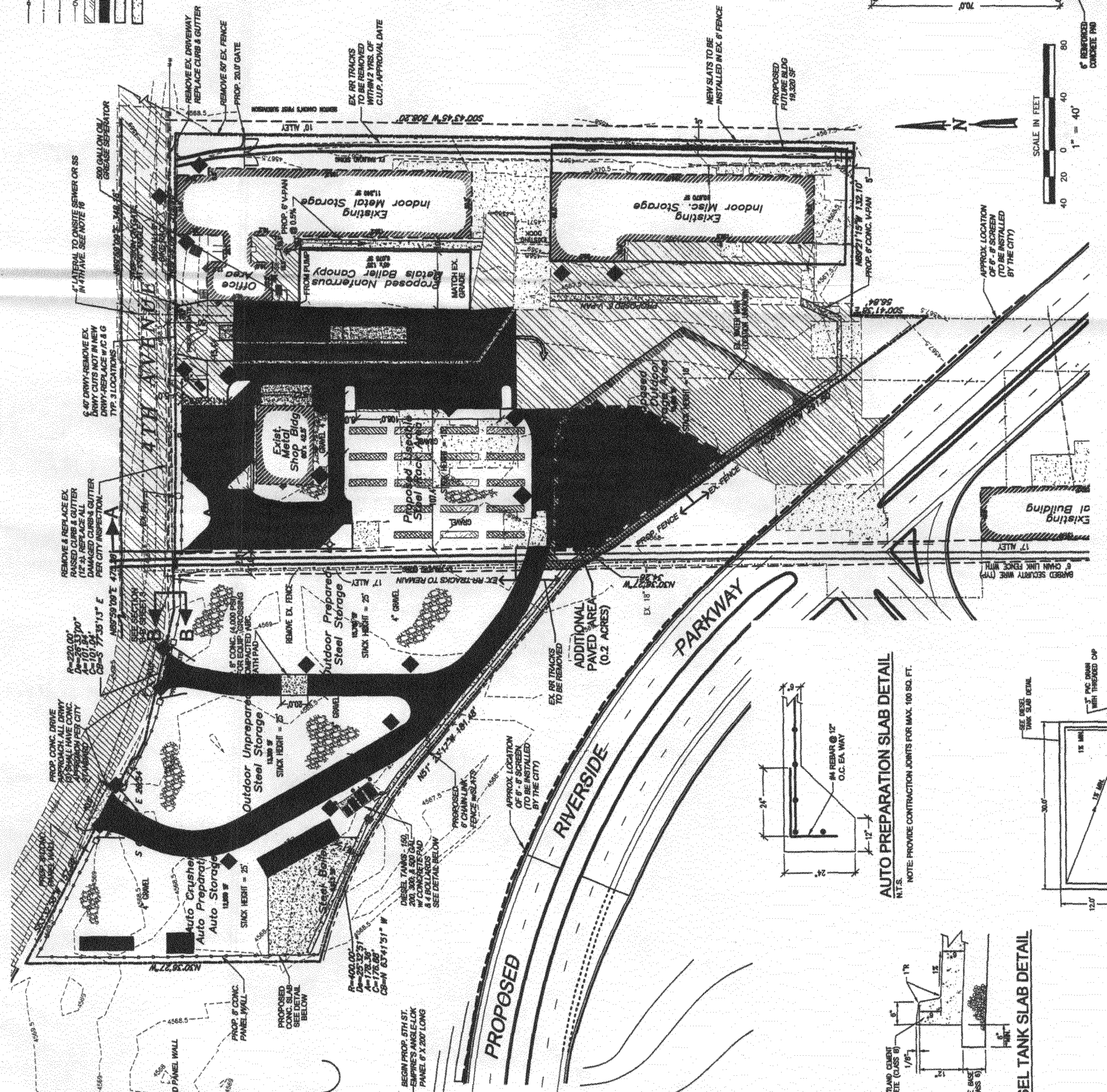
- LEGEND**
- PROPOSED 8" CONCRETE PANEL WALL
 - EXISTING 8" CHAIN LINK FENCE
 - PROPOSED 8" CHAIN LINK FENCE W/SLATS
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING ASPHALT
 - PROPOSED ASPHALT
 - EXISTING CONCRETE
 - PROPOSED CONCRETE

- PROPOSED CONCRETE
 - GRAVEL AREA (MIN. 4")
 - PROPOSED PARKING SPACES
 - PROPOSED STORM DRAIN MANHOLE
 - PROP WALL MOUNTED LIGHT *
 - PROP SITE LIGHT *
- * SEE LIGHTING PLAN BY BIGHORN CONSULTING ENGINEERS

NOTES:

- THIS DRAWING REFERENCES AN ALTACRSM SURVEY & FINAL PLAT BY CARTER-BURGESS, SITE PLANS BY THOMAS A. LOGUE, AN IMPROVEMENT SURVEY TOPOGRAPHIC SURVEY PREPARED BY POLARIS SURVEY DATED 04/03/06.
- EXISTING USE = COMMERCIAL
- PROPOSED USE: INDUSTRIAL (SALVAGE YARD)
- ELECTRIC SERVICE = PUBLIC
- SEWER SERVICE = PUBLIC
- WATER SERVICE = PUBLIC
- PROPERTY OWNER/APPLICANT: VAN GUNDY RECYCLE CENTER 4TH STREET GRAND JUNCTION, CO.
- TOTAL PARKING PROVIDED: 31 SPACES
- ALL FACILITIES AND SITE PLAN FEATURES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE, AND FEDERAL SPECIFICATIONS AND STANDARD DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
- THIS SITE PLAN IS THE SOLE PROPERTY OF VORTEX ENGINEERING, INC. (V.E.I.) AND NOT TO BE UTILIZED WITHOUT WRITTEN CONSENT FROM V.E.I.
- UNDERGROUNDING OF THE OVERHEAD POWER LINES ADJACENT TO THE SOUTH SIDE 4TH AVENUE ALONG THE NORTHERN PROPERTY BOUNDARY WILL BE REQUIRED.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES INSPECTION BY THE CITY OF GRAND JUNCTION. CONTACT MARK BARSLUND AT 970-241-1382 PRIOR TO CONSTRUCTION IN THE RIGHT-OF-WAY.
- OFFICE AREA IS THE SALES AREA (1,500 SQ. FT.)
- GRAVEL IN STORAGE AREAS SHALL BE 3/4" CRUSHED (80% TO 3/4")
- CONNECT 4" LATERAL TO ONSITE SEWER OR SS IN 4TH AVE. COORDINATE WITH VORTEX ENGINEERING PRIOR TO CONNECTION.

- REGULATORY SIGN SCHEDULE**
- VAN GUNDY'S BUILDING SIGN 5'x 3' (15 SF)
 - VAN GUNDY'S BUILDING SIGN 8'x 4' (32 SF)
 - FREESTANDING I.D. SIGN 12' HIGH x 8'x 4' (32 SF)
- DIRECTIONAL / TRAFFIC SIGN SCHEDULE (NON-REGULATORY)**
- DO NOT ENTER SIGN
 - ONEWAY SIGN
 - AREA SIGNS FOR AREAS: 1, 2, 3, & 4 2'x 3' (6 SF)
 - AREA SIGNS FOR AREAS: A, B, C, D, & E 2'x 3' (6 SF)
 - CUSTOMER PARKING SIGN
 - CAUTION:VEHICLE CROSSING SIGN
 - STOP SIGN
 - NO PARKING FIRE LANE SIGN



RECEIVED
OCT 30 2007
COMMUNITY DEVELOPMENT DEPT.

APPROVAL/SIGNATURE BLOCK

CITY ENGINEER: *[Signature]* DATE: 11-6-07
 COMMUNITY DEVELOPMENT: *[Signature]* DATE: 11-6-07

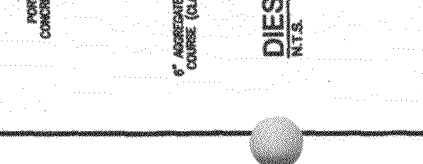
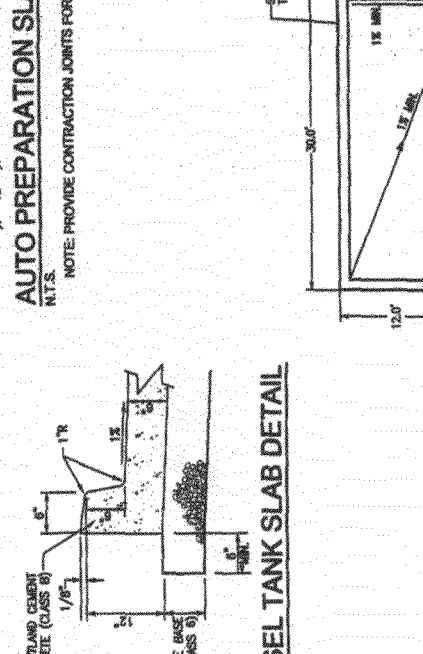
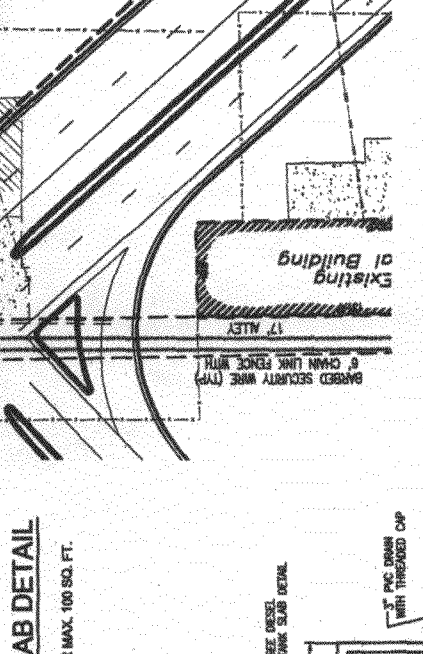
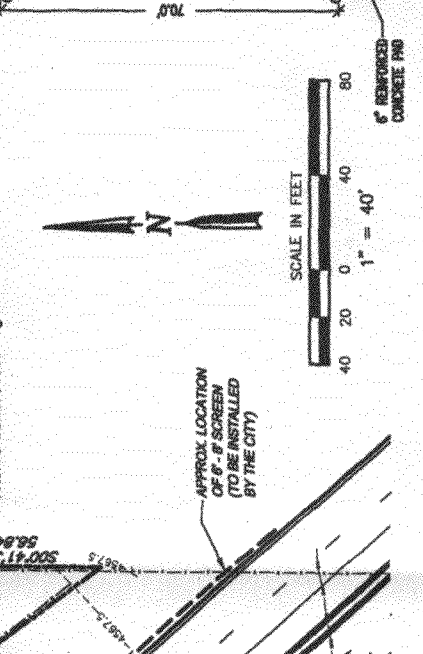
Vortex Engineering, Inc.
 CONSTRUCTION MANAGERS & SITE PLANNERS • • • PROJECT MANAGERS • • • CIVIL & CONSULTING ENGINEERS
 255 Vista Valley Drive, Suite 100, Grand Junction, CO 81501
 Phone: (970) 246-5281 Fax: (970) 246-7088

PROJECT: Van Gundy Recycle Center/Salvage Yard
 645 4th Avenue
 Grand Junction, Colorado

R.W. JONES II CIVIL ENGINEER
 2285 W. 1st St. Grand Junction, CO 81501

SITE PLAN

DATE: 11-6-07
 DRAWN BY: R.W. JONES II
 CHECKED BY: R.W. JONES II
 PROJECT NO.: 07-001-001
 SHEET NO.: 2 OF 7



SCALE IN FEET
 40 20 0 40 80
 1" = 40'

TRUCK SCALE DETAIL
 N.T.S.

AUTO PREPARATION SLAB DETAIL
 N.T.S.
 NOTE: PROVIDE CONTRACTION JOINTS FOR MAX. 100 SQ. FT.

DIESEL TANK SLAB DETAIL
 N.T.S.

DIESEL TANK SLAB DETAIL
 N.T.S.