

Left station 1,104.00

FP-2005-300

PEE \$	10.00
TCP \$	1589.00
SIF \$	460.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 191- Ledge Ct, GJ Co. 81503
 Parcel No. 2945-351-45-093
 Subdivision Spy Glass Ridge
 Filing 2 Block _____ Lot 217

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed Apprx 5200 Sq Ft
 Sq. Ft. of Lot / Parcel 10,759
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) Apprx 3900 Sq Ft
 Height of Proposed Structure 23'10"

OWNER INFORMATION:

Name Chris Cembalisky
 Address 698 Moon Ridge Circle
 City / State / Zip Grand Jct, Co 81505

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Dorsey Custom Homes + Framing LLC
 Address P.O. Box 40483
 City / State / Zip Grand Jct, Co 81504
 Telephone 970-986-1783

*TYPE OF HOME PROPOSED:

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: See Note on Site Plan Ref 11/9/07
" " " " " Ref 11/13/07

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R-2 Cluster Maximum coverage of lot by structures _____
 SETBACKS: Front _____ from property line (PL) Permanent Foundation Required: YES _____ NO _____
 Side _____ from PL Rear _____ from PL Parking Requirement _____
 Maximum Height of Structure(s) Special Bldg Lot Special Conditions Eng foundations, grading
 Voting District "E" Driveway Consideration + Drainage Plan + Special Bldg
 Location Approval [Signature] (Engineer's Initials) Lot Considerations

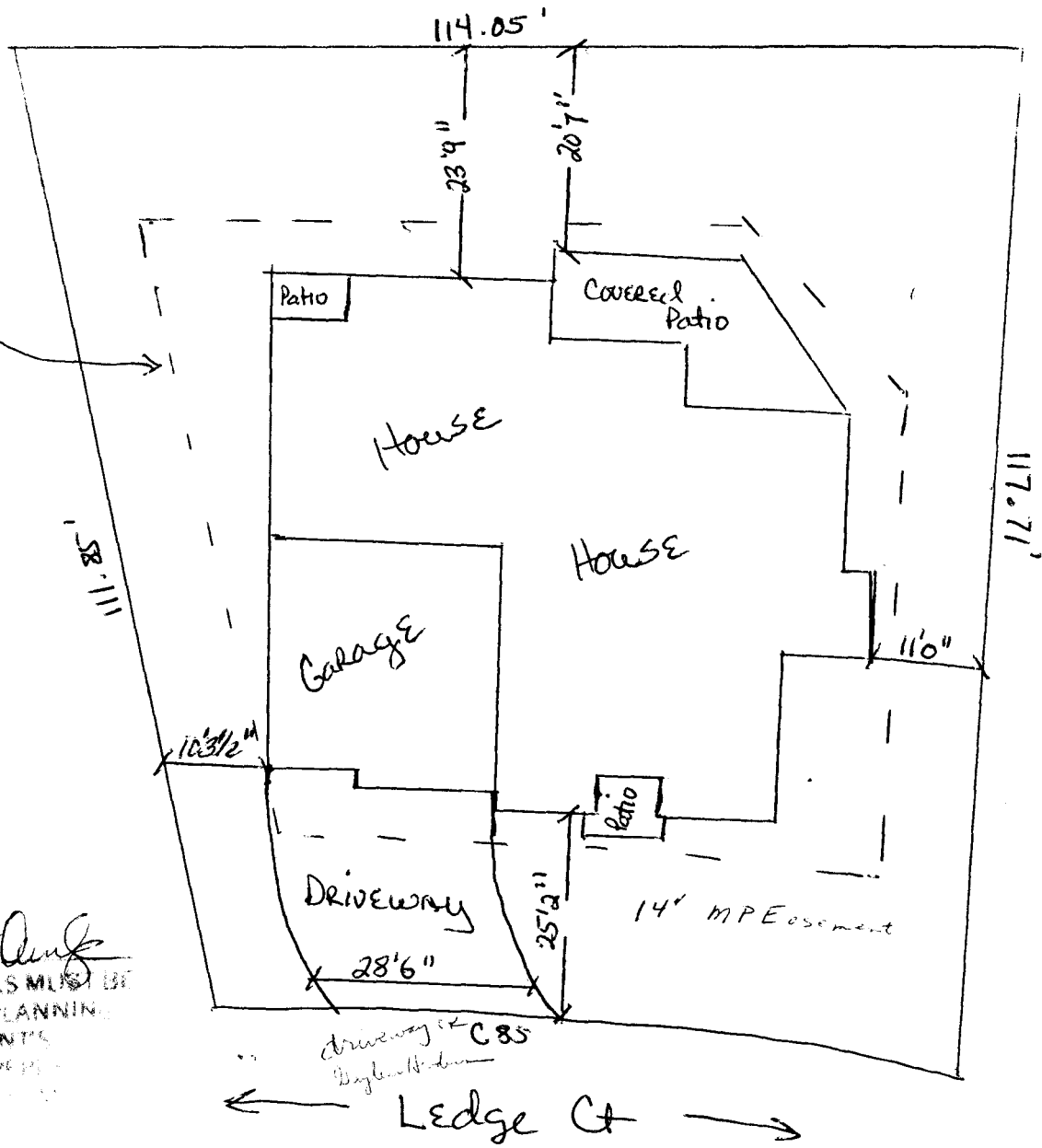
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 11-4-07
 Department Approval [Signature] Date 11/21/07

Additional water and/or sewer tap fee(s) are required:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	W/O No. <u>11/21/07 Pd@cmsd</u>
Utility Accounting <u>[Signature]</u>	Date <u>11/21/07</u>		

BACK LINE



BH Pat Aug
 CHECKS MUST BE
 PLANNING
 WANTS
 (faint text)

191 Ledge Ct / Grand Jet, Co 81503
 Lot 217 Filing #2 / Spy Glass Ridge
 Subdivision

TAX # 2945-351-45-093