

FEE \$ 10.00
 TCP \$ 1589.00
 SIF \$ 460.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. _____

IFT STATION Fee \$ 1,104

Building Address 2652 Liberty View Drive
 Parcel No. 2945-264-41-027
 Subdivision Spyglass
 Filing 1 Block 1 Lot 90

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 3195
 Sq. Ft. of Lot / Parcel 10,491
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 4299
 Height of Proposed Structure 20

OWNER INFORMATION:

Name Steve Goodknight
 Address 2651 Liberty View Drive
 City / State / Zip Grand Jct CO 81503

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Steve Goodknight
 Address 2651 Liberty View Drive
 City / State / Zip Grand Jct CO 81503
 Telephone 970-260-4153

***TYPE OF HOME PROPOSED:**

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>RSF-2/CLUSTER</u>	Maximum coverage of lot by structures <u>per envelope</u>		
SETBACKS: Front <u>25</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____		
Side <u>10</u> from PL Rear <u>20</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>Site Specific Grading & Drainage Plan by registered engineer;</u>		
Voting District <u>E</u> Driveway Location Approval <u>J.K./SAR</u> (Engineer's Initials)	<u>Engineered foundation required. (See plot for complete description)</u>		

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 11/15/07

Department Approval [Signature] Date 11/15/07

Additional water and/or sewer tap fee(s) are required: YES X NO _____ W/O No. paid @ OMSD

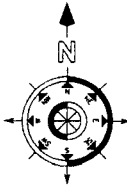
Utility Accounting [Signature] Date 11-15-07

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

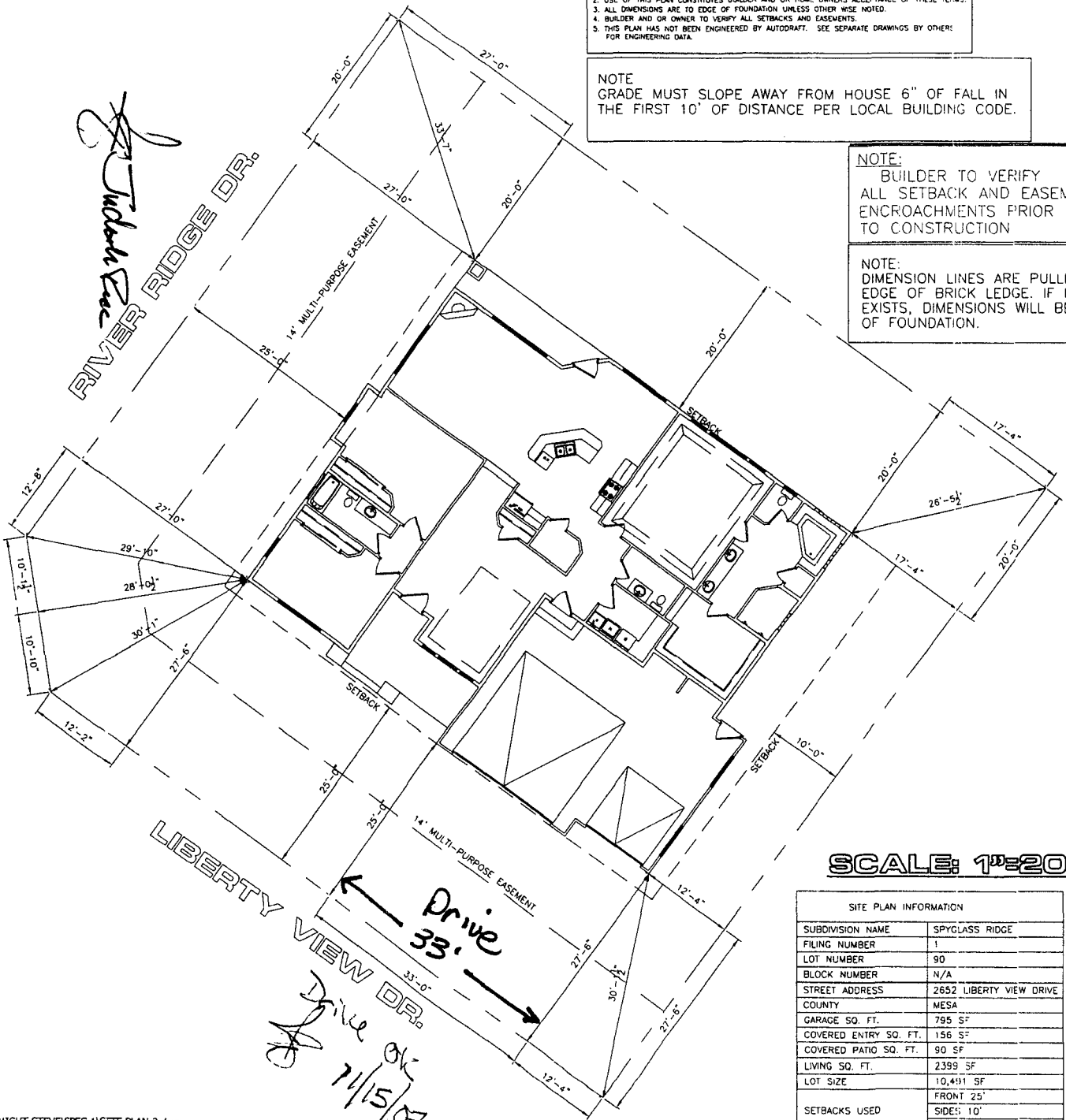
NOTICE:
 1. IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 2. USE OF THIS PLAN CONSTITUTES BUILDER AND OR HOME OWNERS ACCEPTANCE OF THESE TERMS.
 3. ALL DIMENSIONS ARE TO EDGE OF FOUNDATION UNLESS OTHER WISE NOTED.
 4. BUILDER AND OR OWNER TO VERIFY ALL SETBACKS AND EASEMENTS.
 5. THIS PLAN HAS NOT BEEN ENGINEERED BY AUTODRAFT. SEE SEPARATE DRAWINGS BY OTHERS FOR ENGINEERING DATA.

NOTE
 GRADE MUST SLOPE AWAY FROM HOUSE 6" OF FALL IN THE FIRST 10' OF DISTANCE PER LOCAL BUILDING CODE.

NOTE:
 BUILDER TO VERIFY ALL SETBACK AND EASEMENT ENCROACHMENTS PRIOR TO CONSTRUCTION



NOTE:
 DIMENSION LINES ARE PULLED FROM EDGE OF BRICK LEDGE. IF NO BRICK LEDGE EXISTS, DIMENSIONS WILL BE FROM EDGE OF FOUNDATION.



SCALE: 1"=20'-0"

SITE PLAN INFORMATION	
SUBDIVISION NAME	SPYCLASS RIDGE
FILING NUMBER	1
LOT NUMBER	90
BLOCK NUMBER	N/A
STREET ADDRESS	2652 LIBERTY VIEW DRIVE
COUNTY	MESA
GARAGE SQ. FT.	795 SF
COVERED ENTRY SQ. FT.	156 SF
COVERED PATIO SQ. FT.	90 SF
LIVING SQ. FT.	2399 SF
LOT SIZE	10,411 SF
SETBACKS USED	FRONT 25' SIDES 10' REAR 20'

Drive ok
 7/15/07

REV	DATE	DESCRIPTION	BY	CHK

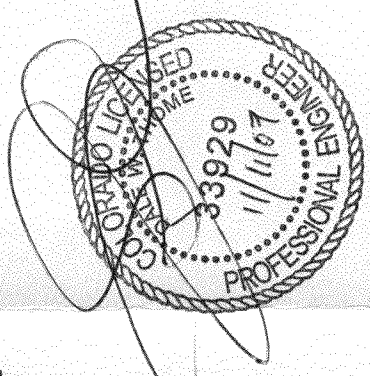
THE LANGFORD CORPORATION
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193 RIVER RIDGE DRIVE
 SPYGLASS RIDGE SUBDIVISION
 GRAND JUNCTION, COLORADO



DRAWN BY: HMC
 CHECKED BY: MPC

DATE: 11.09.07
 SCALE: 1/8"=1'-0"
 PROJECT NO: 0602-00107
 SHEET NO: G1



*approved
 DKP
 City Engineer*

