

Liftstation Impact fee \$1,104.00

FEE \$	10.00
TCP \$	1507.00
SIF \$	460.00

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 2666 Liberty View Ct
 Parcel No. 2945-264-41-007
 Subdivision Spy Glass Ridge
 Filing 1 Block _____ Lot 70

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed Approx 2700 sq ft
 Sq. Ft. of Lot / Parcel 10825 Sq. Ft.
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) Approx 3500 sq. ft.
 Height of Proposed Structure 21'6"

OWNER INFORMATION:

Name Mr. & Mrs Kimbrough
 Address _____
 City / State / Zip Grand Jct, Co 81503

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Dorsey Custom Homes
 Address P.O. Box 40483
 City / State / Zip Grand Jct, Co 81504
 Telephone 986-1783

*TYPE OF HOME PROPOSED:

- Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>RSF 2/clusters</u>	Maximum coverage of lot by structures <u>30%</u>
SETBACKS: Front <u>20'</u> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
Side <u>10'</u> from PL Rear <u>20'</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>Engineered Foundation Req'd</u>
Voting District <u>"E"</u> Driveway Location Approval <u>SP/Louise</u> (Engineer's Initials)	<u>Site Specific Grading & Drainage</u>
	<u>Plan req'd / Ridge/line Mitigation Technique</u>

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

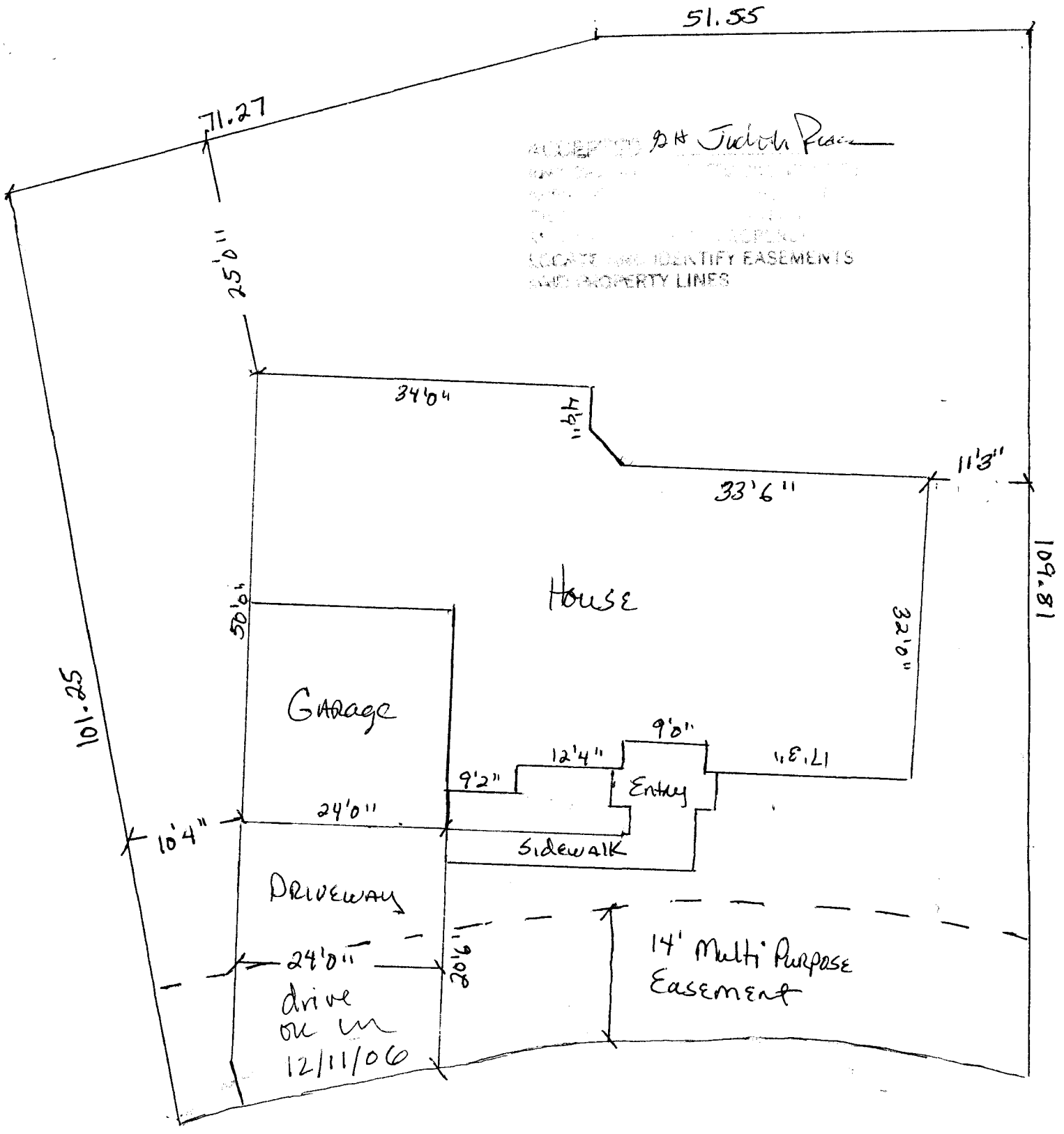
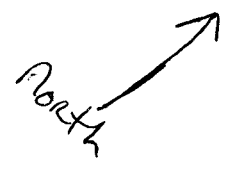
Applicant Signature Robert Dorsey Date 12-11-06
 Department Approval JAH Judith A. Row Date 2/6/2007

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	W/O No. <u>td @ CMSD</u>
Utility Accounting <u>d</u>	Date <u>2/6/07</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

Lot #70, Filing #1
Spy Glass Ridge Subdivision
Parcel # 2945-264-41-007

MR. & MRS. Kimbrough



Logos Management Services, L.L.C.

2164 Village View Ct.
Grand Junction, CO 81503
gkimbrough@bresnan.net
970-254-0787; 970-257-1106 fax

January 19, 2007

Ms. Laura Lamberty
Community Development Department
250 N. 5th St
Grand Junction, CO 81501

RE: 2666 Liberty View Ct. (Lot #70)
Spyglass Ridge Development

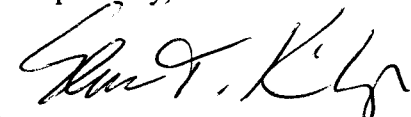
Dear Ms. Lamberty,

Please accept my apology for failing to realize that the runoff from the developed area of this lot must drain to the street. Somehow this requirement was missed in my review of the project development documents. The plan has now been revised accordingly and two copies attached hereto for your approval. Specifically:

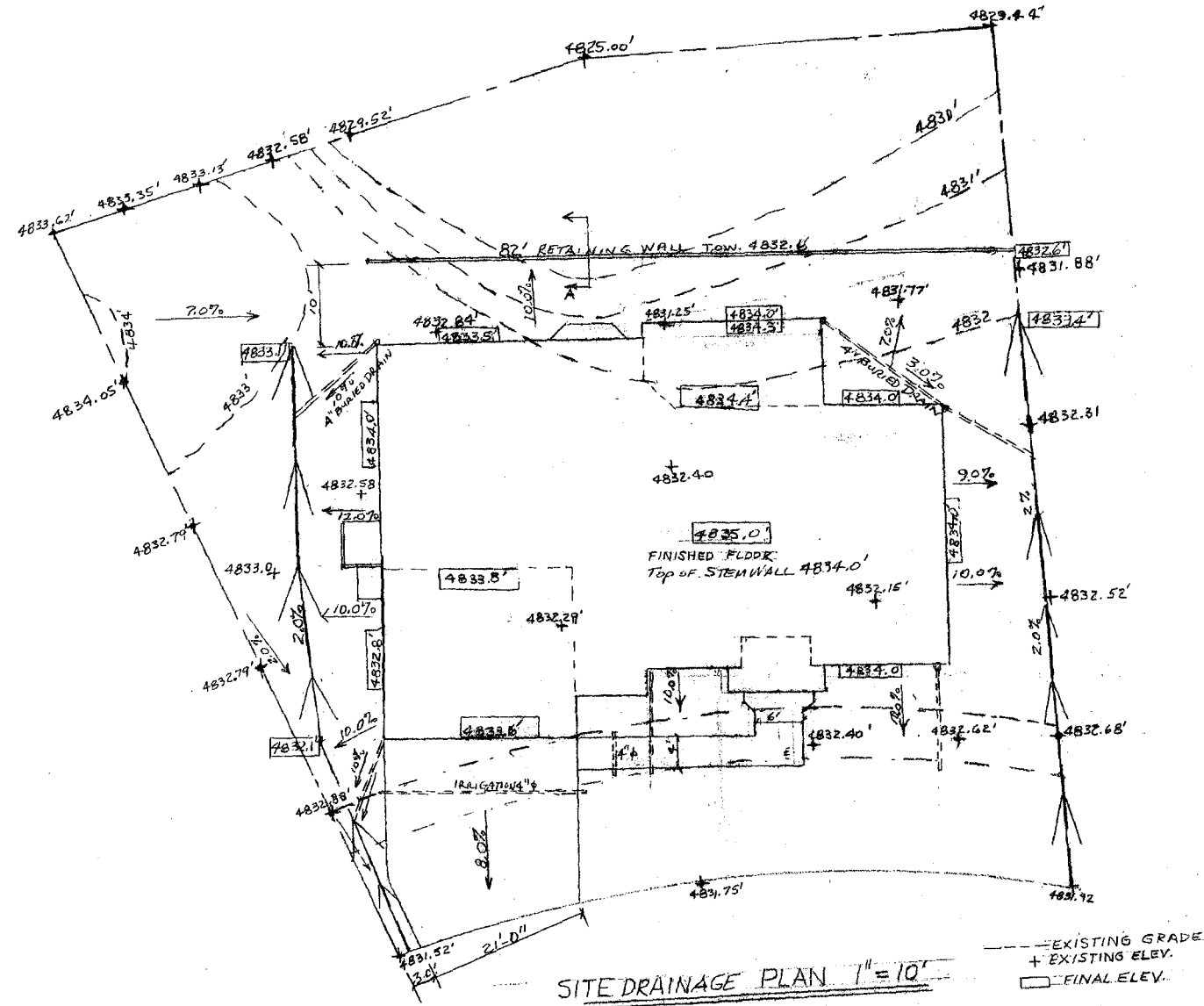
- The finished floor has been raised 6" to 4835' with the top of stem wall now set at 4834.0'.
- The retaining wall across the rear has been lengthened to 82' and the top of wall raised 6" to 4832.6'. Because the original surface area draining toward the north extended into approximately the center of the house, there will now be less surface runoff to the north than previous historical amounts.
- Grades have been set to provide a 10% slope for a minimum of 10' around the structure.
- All eaves are fully guttered with all downspouts now discharging into 4" diameter underground drainage systems, all of which discharge into drainage ditches which slope a minimum of 2% toward the street.
- The final landscaping plan, once completed, will stipulate that no grass is allowed except as may be approved between the house and the street, and any bermed areas that may be created can not alter the current drainage as designed.

A fully engineered foundation plan utilizing micro-pilings has been developed by Mesa Engineering and is being submitted at this time along with the other drawings required for a building permit. I trust this revised design now meets your approval, but if not, please call me at 254-0787 and I will be happy to address any remaining areas of concern.

Respectfully,

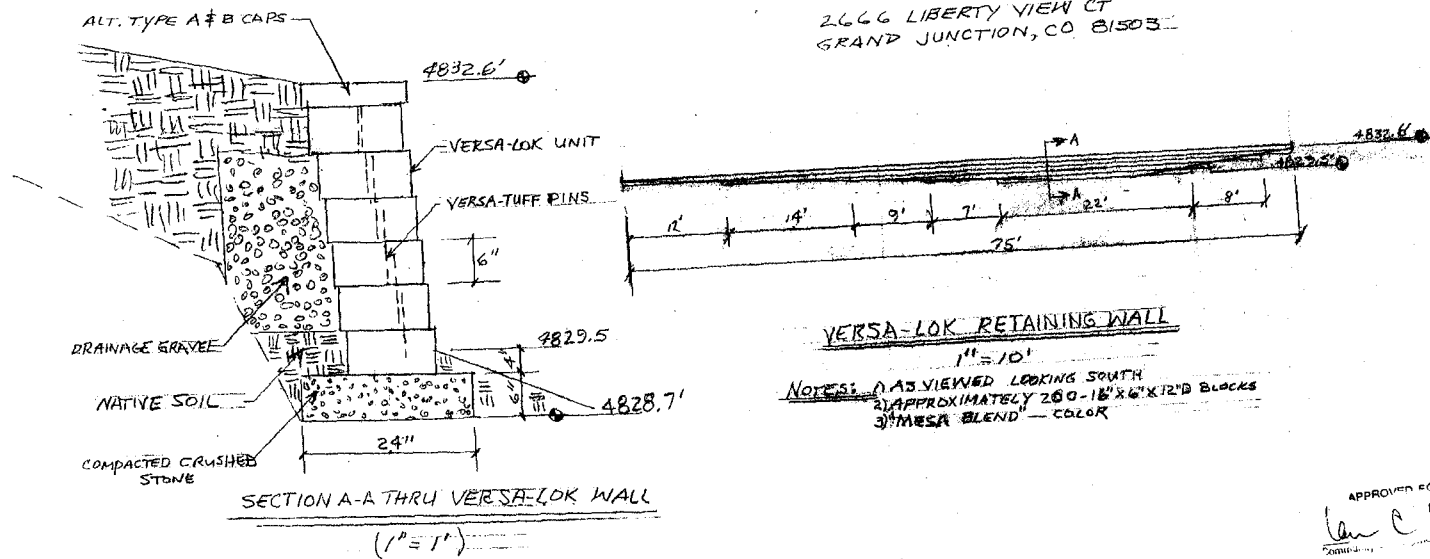


Glenn T. Kimbrough, P.E. (25454)



SITE DRAINAGE PLAN 1" = 10'

2666 LIBERTY VIEW CT
GRAND JUNCTION, CO 81503



APPROVED FOR CONSTRUCTION
Ken C. Smith 11/19/06

LOGOS MANAGEMENT SERVICES		
SCALE: 1" = 10'	APPROVED BY:	DRAWN BY: GJK
DATE: 3/3/06		REV: 1/19/06
SPYGLASS RIDGE - LOT # 70		