

FEE \$ 10.00
 TCP \$ 1581.00
 SIF \$ 460.00

PLANNING CLEARANCE

BLDG PERMIT NO. _____

(Single Family Residential and Accessory Structures)
Community Development Department

LIFT STATION FEE \$1,104
 Building Address 2659 LOOKOUT COURT
 Parcel No. 2945-244-41-048
 Subdivision SPYGLASS RIDGE
 Filing 1 Block N/A Lot 111

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2934
 Sq. Ft. of Lot / Parcel 10,973
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 4927
 Height of Proposed Structure 16'6"

OWNER INFORMATION:

Name MADELINE HEINEMANN
 Address 2441 BELLA PALO DR.
 City / State / Zip GRAND JUNCTION, CO 81503

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name AUSTIN & AUGUSTA DESIGN
 Address 1801 I-70 BUS. LOOP, B-5
 City / State / Zip GRAND JUNCTION, CO 81501
 Telephone (970) 243-1985

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R-2/cluster
 Building envelope
 SETBACKS: Front 25' from property line (PL)
 WEST SIDE = 5'
 EAST Side 20' from PL Rear 20' from PL
 Maximum Height of Structure(s) per plan
 Voting District E Driveway Location Approval _____
 (Engineer's Initials)

Maximum coverage of lot by structures per plan
 Permanent Foundation Required: YES X NO _____
 Parking Requirement 2
 Special Conditions Engineered foundation required (see note on plat); site grading & drainage plan signed by registered engineer required.

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

X Applicant Signature [Signature] X Date 11-9-07

Department Approval JAR Paul Hornbeck Date 11/29/07

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. OMSD #5132

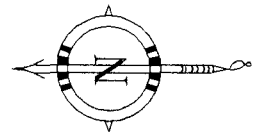
Utility Accounting [Signature] Date 11-29-07

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

JAR

2056 LOOKOUT COURT
2659 LOOKOUT COURT
2659 LOOKOUT COURT
2659 LOOKOUT COURT

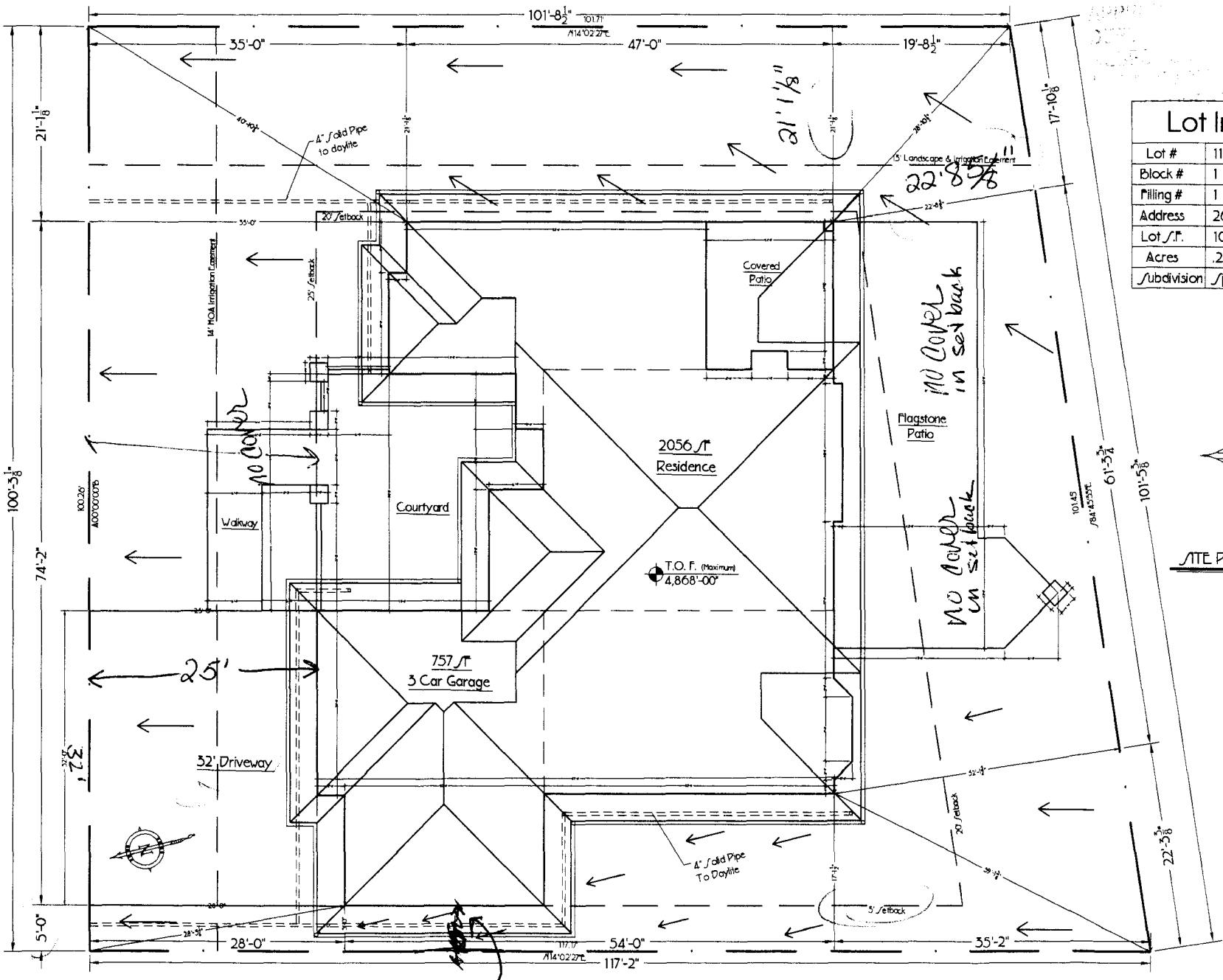
Lot Information	
Lot #	111
Block #	1
Piling #	1
Address	2659 Lookout Court
Lot \sqrt{ft}	10,973 \sqrt{ft}
Acres	.252
Subdivision	Spyglass Ridge



SITE PLAN

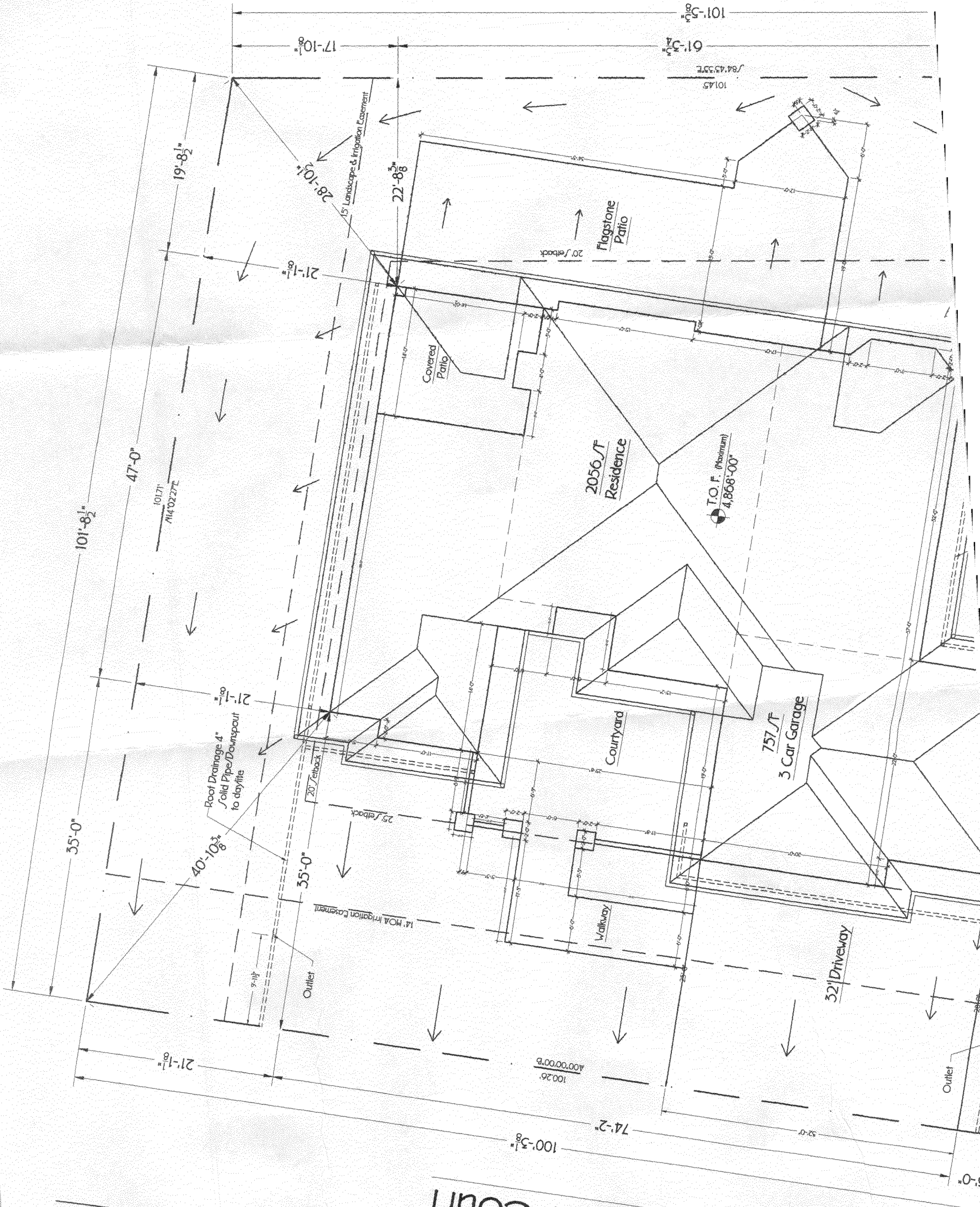
SCALE: 1" = 10'-0"

Lookout Ct



Lookout Court

2659 Lookout Court
Grading and Drainage Plans
Page 1 of 4

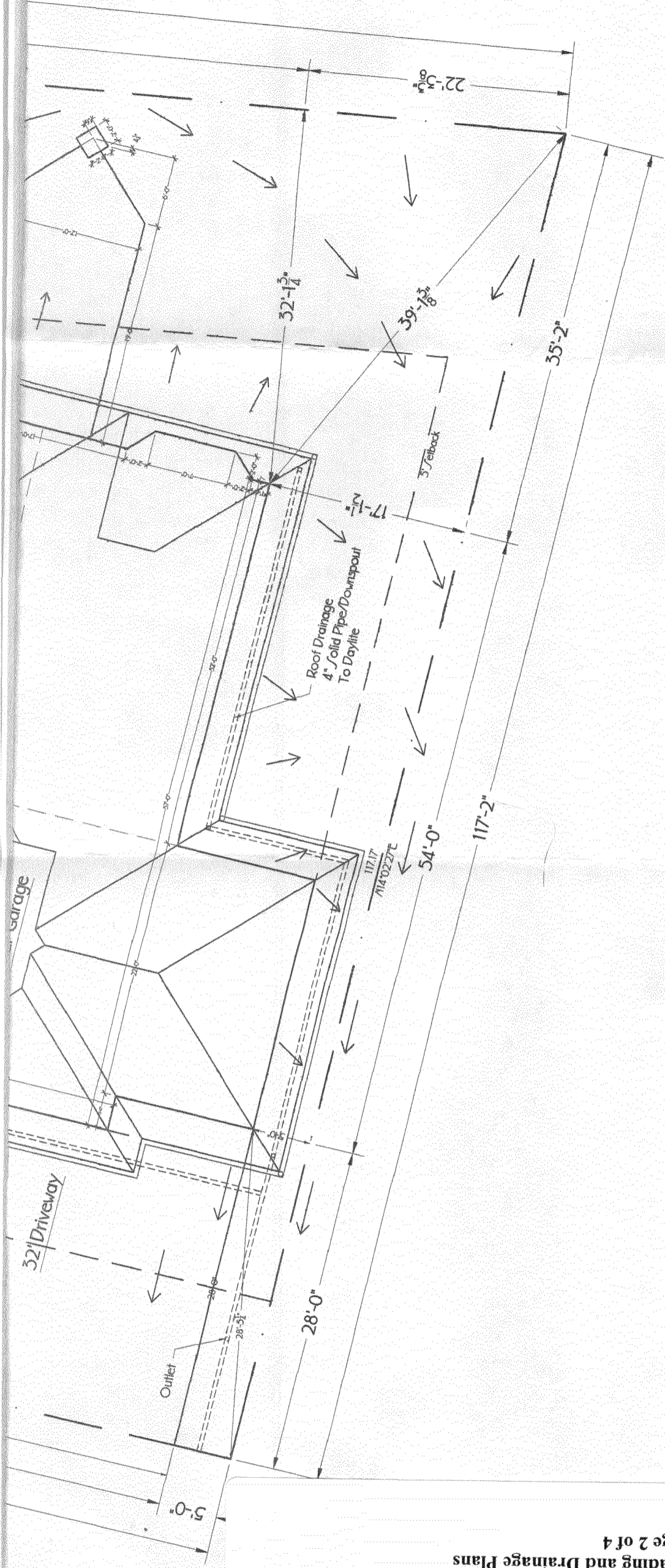


Lot Information

Lot #	111
Block #	1
Filling #	1
Address	2659 Lookout Court
Lot S.F.	10,975 SF
Acres	252
Subdivision	Spyglass Ridge

SITE PLAN

SCALE: 1" = 10'-0"

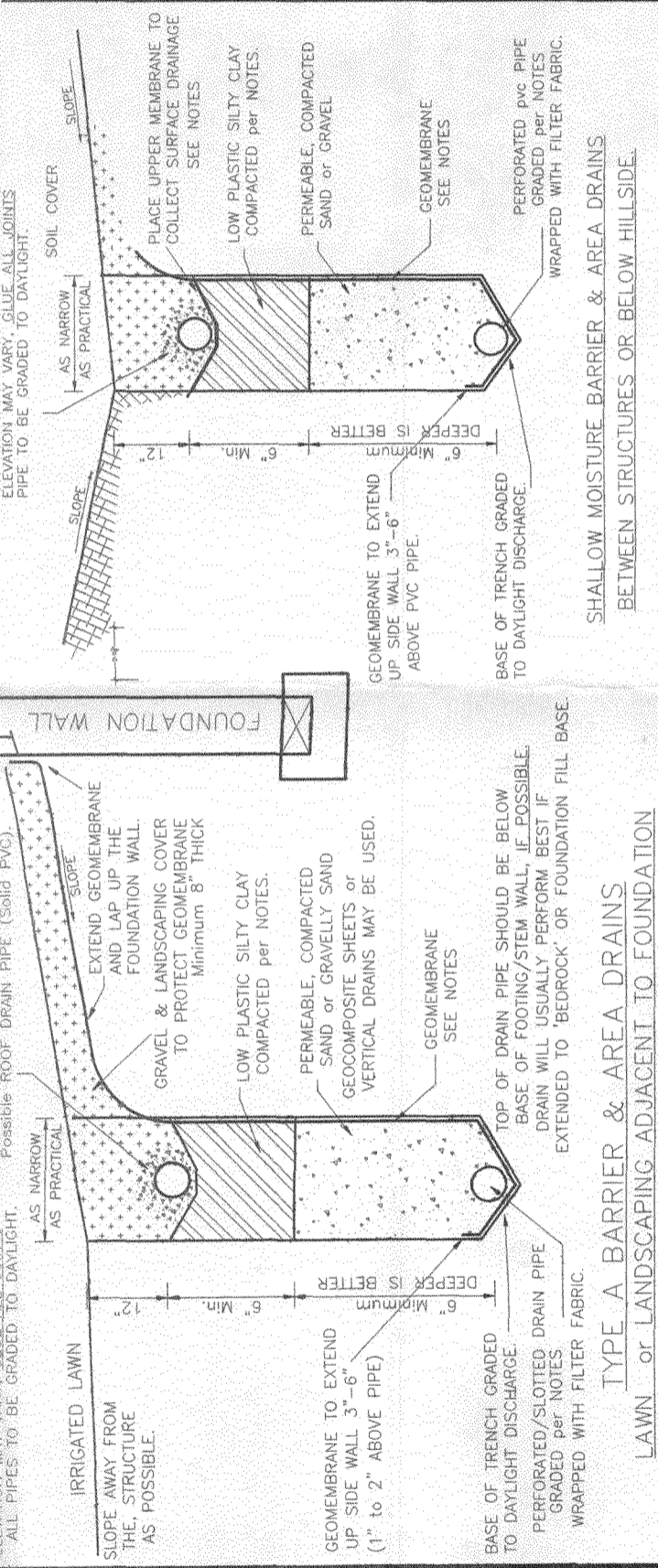


2659 Lookout Ct
 Madeline Heinemann Residence
 Grand Junction, CO 81503
 Spyglass Ridge Subdivision

REVISIONS	COMMENTS	DATE

DATE: 5/4/07
 SCALE: A/NOTED

A5.0



GA GRAND JUNCTION
 LINCOLN-DEVORE, Inc.
 GEOTECHNICAL ENGINEERS-GEOLOGISTS

TYPE A BARRIER & AREA DRAINS
 LAWN or LANDSCAPING ADJACENT TO FOUNDATION

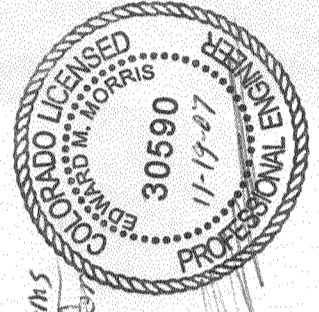
SHALLOW SUBSURFACE DRAINS, BETWEEN STRUCTURES

SHALLOW MOISTURE BARRIER & AREA DRAINS
 BETWEEN STRUCTURES OR BELOW HILLSIDE.

SCALE	NONE	LD #	
DATE	10-22-2007	File #	D-DRA114

*City of Grand Junction
 Approval by 11/28/07
 for Drainage*

*This drainage plan was reviewed
 by Edward M Morris, PE.
 The Shallow Subsurface Drains
 details may be required for
 portions of this project.*



NOTES FOR DEEP & SHALLOW SUBSURFACE BARRIER/DRAIN

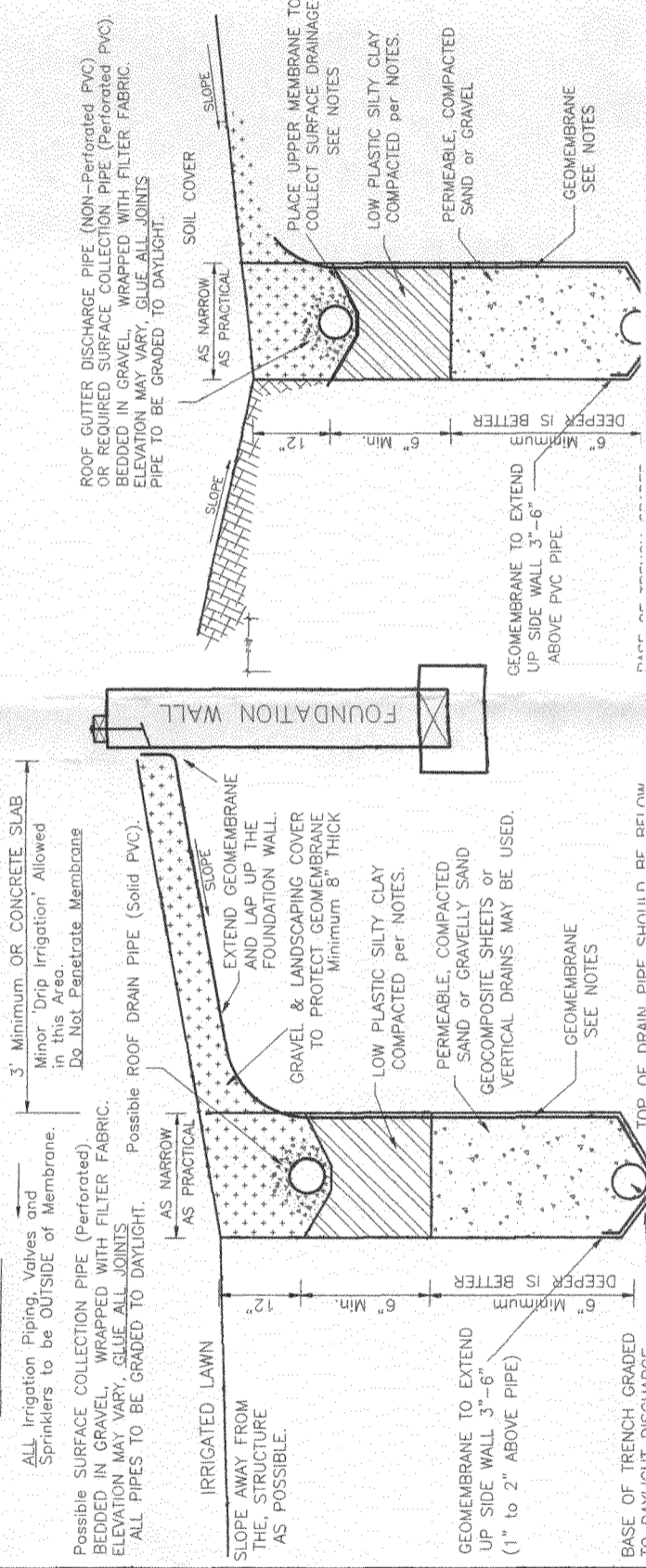
- The barrier/drain trench should be located at least 10 feet from any foundations. Excavate the trench as narrow as practical BUT. The trench sides must be sloped or braced, as required by the appropriate OSHA requirements. The sides and bottom of the trench is to be smooth and must be graded to drain to 'Daylight' Discharge or Sump.
- The Minimum trench and pipe gradient is to be 1-1/2%.
- Ground slope between the trench and any foundation to be excavated and smoothed, graded toward trench (8% Min.) Gradient within the first 10' from any foundation.
- It is strongly recommended that a Geomembrane Barrier be placed on the 'Building Side' and extended to the building and have no sharp projections OR a protective Geotextile or sand cushion layer must be installed between the soil and the Geomembrane.
- Geomembrane to be placed on ground surface, away from the foundation, down the trench side, across the trench bottom and return up the opposite side 3" to 7" (1" to 3" above drain pipe).
- In Non-Traffic Areas, The Geomembrane to be a Polyethylene or equal and to have the following characteristics:
 - Minimum Thickness, ASTM D-5199 0.5mm (6 mils)
 - Minimum Tensile Break Strength, ASTM D-638 14 kN/m (25 lbs/in)
 - Minimum Puncture Resistance, FTMS 101c, Method 2065 0.13 kN (10 lbs)
 - Minimum Tear Resistance, ASTM D-1203 0.16 kN (4 lbs)
 - Maximum Permeability Coefficient, ASTM D-4491 1 E-6, (0.000001) cm/sec
- All joints in the Geomembrane shall be overlapped and glued with products and in such a manner that conforms to the manufacturer's recommendation. If glued joints are not used, the membrane edges shall be overlapped a minimum of 32 inches (0.6m). The overlaps shall be 'shingled' so the exposed edges face in the same direction as the flow of water drainage.
- A Geosynthetic/Composite Clay Liner may be substituted for the Geomembrane. Confirm with the Design Engineer.
- A Perforated Plastic Pipe (PVC) is to be enclosed within the Geomembrane, at the base of the trench.
- The Perforated Plastic Pipe to be a minimum 4" Diameter. If the length of 'Perforated Pipe Run' exceeds 300 feet, An additional 4" diameter Perforated Pipe is to be added in the trench OR the pipe size increased to 6" diameter.
- The Plastic Pipe must be graded to drain to the 'Daylight' Discharge or a Sump Discharge. Minimum 1-1/2% Grade.
- The Perforated Plastic Pipe to be protected from clogging. Such protection can be achieved by wrapping the pipe with a non-woven Geotextile 'Filter Fabric' (Such as Amoco 4547, Contech C-50W, Mirafit 140N).
- A permeable Sand or Gravel Water Drainage/Collection medium is to be placed around and above the Perforated Pipe. This Drainage/Collection Medium to be compacted to at least 80% of Maximum Dry Density, ASTM D-1557.
- The permeable Water Drainage/Collection medium must be protected from clogging. Protection may be wrapping the medium with a non-woven Geotextile 'Filter Fabric', Such as Amoco 4547, Contech C-50W, Mirafit 140N ('Burrito Drain'). Place Geotextile fabric at the Top Surface of permeable Sand Or Gravel medium to prevent clogging.
- The Low Plastic Silty Clay Cover over the Sand or Gravelly Sand Drain must be carefully placed and compacted. The Clay Cover is to be placed in lifts and compacted to at least 85% of Maximum Dry Density, ASTM D-1557. This Silty Clay must be graded to have at least 50%, by weight, passing the # 200 sieve.
- With the approval of the Design Engineer, either Geocomposite Drains, Board Drains and Edge Drains may be substituted for portions of the drain shown on this drawing.
- Required Observations by the Design Engineer or approved representative:
 - Completion of Trench and Surface Excavation / Preparation, prior to Membrane Installation. (Compaction Testing)
 - Perforated Drain Pipe or other Products in place, to include protection from clogging.
 - Top of Water Drainage/Collection Medium. (May require soil compaction testing)
 - Top of Low Plastic Silty Clay Layer. (Soil compaction testing)
 - Final Soil Cover, surface graded and prior to final landscaping.

DO NOT OVER IRRIGATE THE LANDSCAPING.

ALL Irrigation Piping, Valves and Sprinklers to be OUTSIDE of Membrane. Minor 'Drip Irrigation' Allowed in this Area. Do Not Penetrate Membrane

Possible SURFACE COLLECTION PIPE (Perforated). BEDDED IN GRAVEL, WRAPPED WITH FILTER FABRIC. ELEVATION MAY VARY, GLUE ALL JOINTS. ALL PIPES TO BE GRADED TO DAYLIGHT.

Possible ROOF DRAIN PIPE (Solid PVC).



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 AND CONSTRUCTION MANAGEMENT, INC.
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