

FEE \$ 10<sup>00</sup>  
 TCP \$ 1589<sup>00</sup>  
 SIF \$ 460<sup>00</sup>

**PLANNING CLEARANCE**

BLDG PERMIT NO. \_\_\_\_\_

(Single Family Residential and Accessory Structures)  
**Community Development Department**

Lift Station Fee \$ 1,104

Building Address 2677 Lookout Ln

No. of Existing Bldgs 0 No. Proposed \_\_\_\_\_

Parcel No. Parent: 2945-264-00-038

Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2422

Subdivision Spyclass

Sq. Ft. of Lot / Parcel \_\_\_\_\_

Filing 2 Block \_\_\_\_\_ Lot 120

Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) \_\_\_\_\_

**OWNER INFORMATION:**

Name Andrew Brock

Height of Proposed Structure \_\_\_\_\_

Address 715 Willow Creek Rd

**DESCRIPTION OF WORK & INTENDED USE:**

City / State / Zip Grand Junction CO 81505

- New Single Family Home (\*check type below)
- Interior Remodel  Addition
- Other (please specify): \_\_\_\_\_

**APPLICANT INFORMATION:**

Name same

**\*TYPE OF HOME PROPOSED:**

Address \_\_\_\_\_

- Site Built  Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): \_\_\_\_\_

City / State / Zip \_\_\_\_\_

NOTES: \_\_\_\_\_

Telephone (970) 242-4700  
(970) 210-8575

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE RSF-2 / cluster

Maximum coverage of lot by structures 75% (Pmt-8)

SETBACKS: Front 25' from property line (PL)

Permanent Foundation Required: YES X NO \_\_\_\_\_

Side 10' from PL Rear 20 from PL

Parking Requirement 2

Maximum Height of Structure(s) 35' (Pmt-8)

Special Conditions Engineered foundation required;

Voting District E Driveway Location Approval JAR  
 (Engineer's Initials)

Grading & Drainage Plan, etc. required per plan.

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature]

Date 1-9-07

Department Approval JAR Gayleen Henderson

Date 1-10-07

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	W/O No. <u>paid @ DMSD</u>
Utility Accounting <u>Kate Ebbert</u>	Date <u>1/11/07</u>

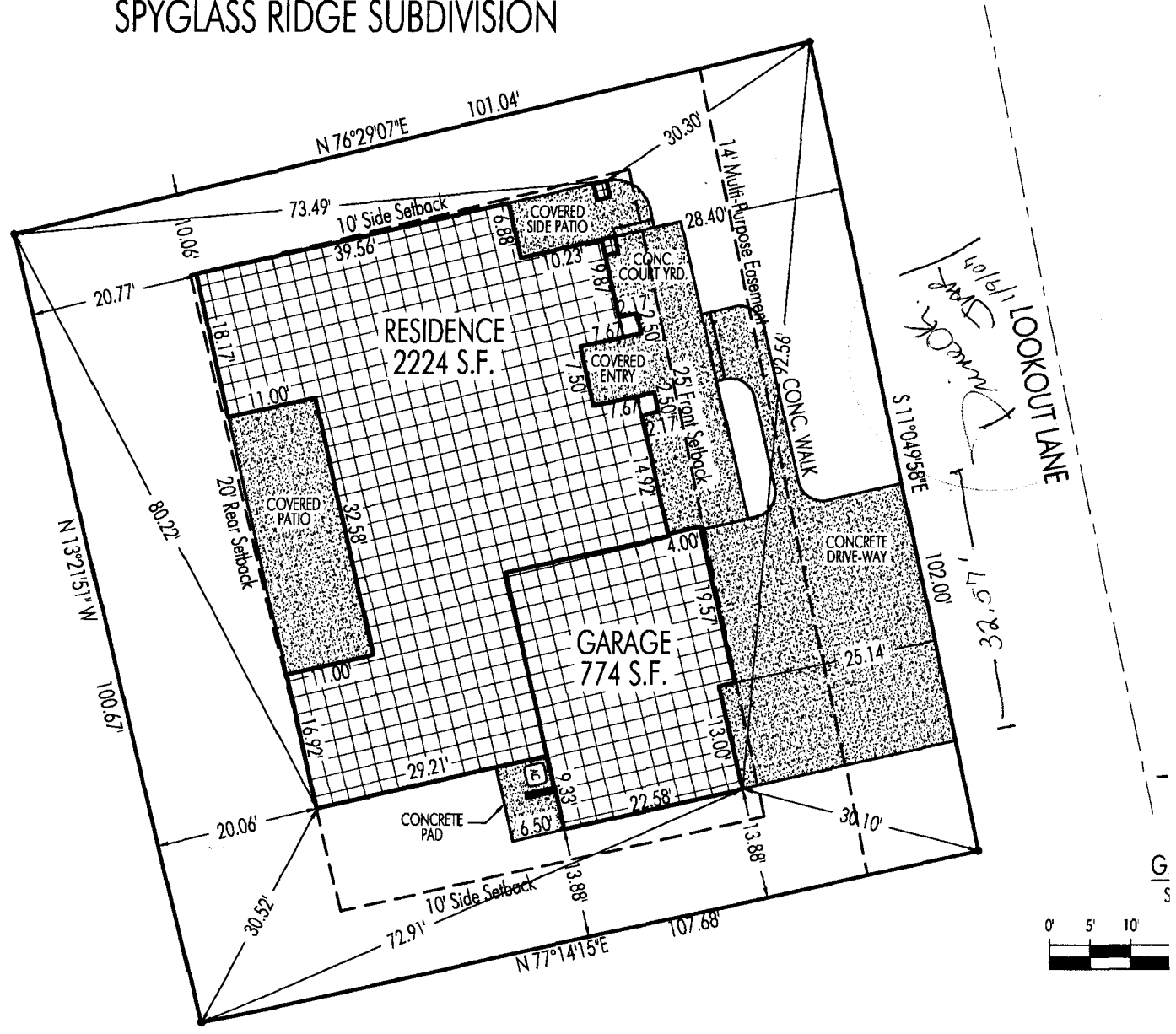
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

1-11-07

ACCEPTED *JAR Gayle Henderson*  
ANY CHANGE OF SETBACKS MUST BE  
APPROVED BY THE CITY PLANNING  
DEPARTMENT. THE APPLICANT IS  
RESPONSIBLE FOR PROVIDING  
DATE AND IDENTIFICATION OF ALL  
EXISTING AND PROPERTY LINES.

# 2677 Lookout Lane

FILING 2, BLOCK 1, LOT 120  
SPYGLASS RIDGE SUBDIVISION



*Mark*  
S 11°04'58"E  
107'11" 1/2  
LOOKOUT LANE

