

FEE \$ 10-
 TCP \$ 1589-
 SIF \$ 460-

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____ *pl*

Building Address 2690 Lookout Ln.
 Parcel No. 2445-351-45-043
 Subdivision ~~Frontier~~ Spiglass Ridge
 Filing 2 Block 1 Lot 156

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2476
 Sq. Ft. of Lot / Parcel 10277 SF
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 4800 SF
 Height of Proposed Structure 20'

OWNER INFORMATION:

Name Security Homes LLC
 Address 937 Kayenta Way
 City / State / Zip Bristle CO 80521

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Same
 Address _____
 City / State / Zip _____
 Telephone 250-2243

***TYPE OF HOME PROPOSED:**

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>R-2</u>	Maximum coverage of lot by structures <u>30%</u>		
SETBACKS: Front <u>25'</u> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		
Side <u>10'</u> from PL Rear <u>4.5'</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>35'</u>	Special Conditions <u>Engineered foundation, Grading & Drainage Plan</u>		
Voting District <u>E</u> Driveway Location Approval <u>[Signature]</u>	(Engineer's Initials) <u>[Signature]</u>	<u>Drive is to be only 33'</u>	

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 7/9/07

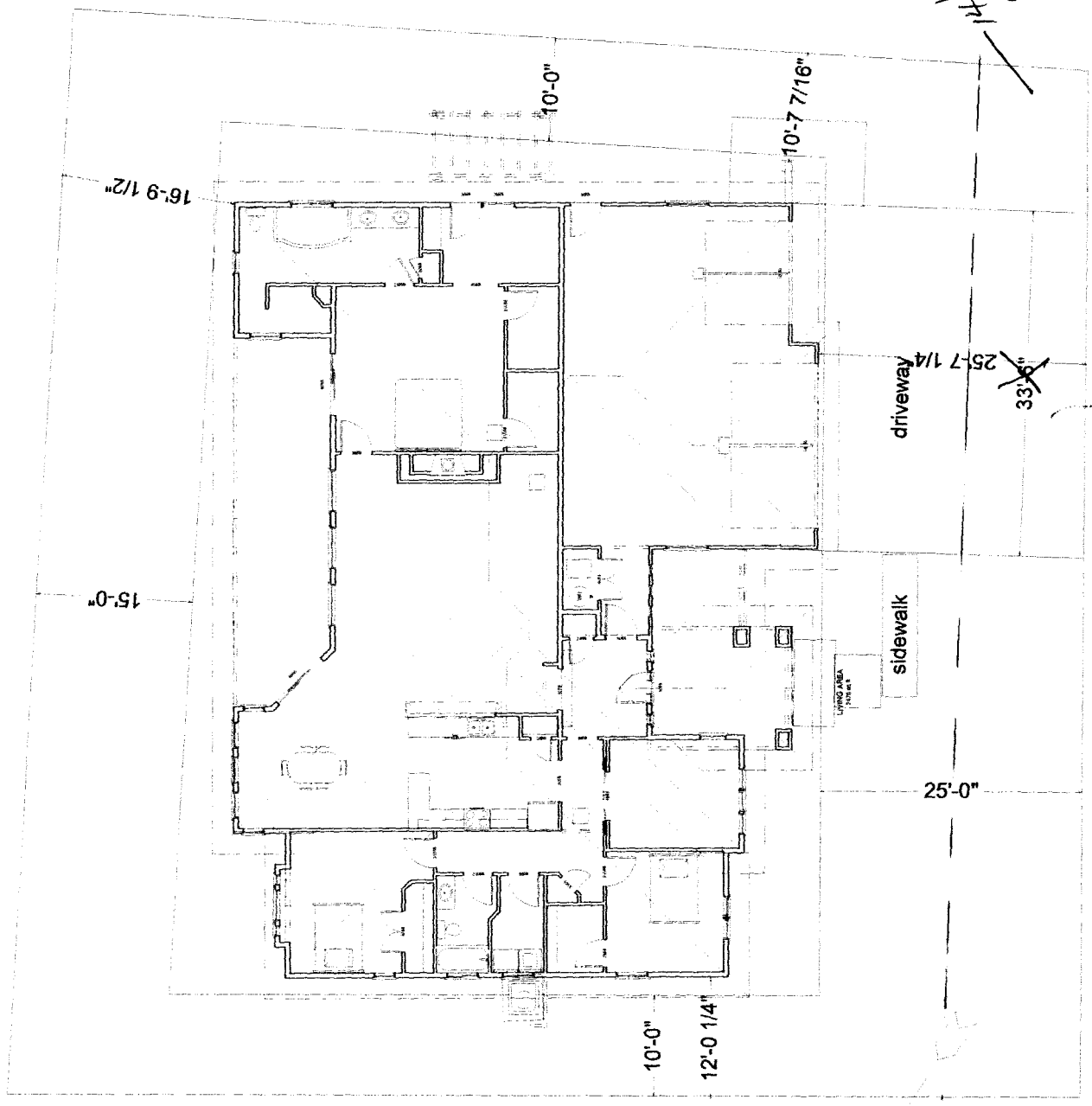
Department Approval [Signature] Date 7/27/07

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. MSD Tap 5075

Utility Accounting [Signature] Date 7/27/07

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

ACCEPTED
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY ENGINEER
 AND THE CITY PLANNING
 DEPARTMENT.
 (SEE PERMITS)
 PROPERTY EASEMENTS
 AND PROPERTY LINES



14' North Easement
 Easement

Maximum width
 driveway
 33' of
 7/27/09

2690 Lookout Lane
 Lot 156 Block 1 Filing Two

