

Planning \$ <u>Pdwl App</u>	Drainage <u>0</u>
TCP \$ <u>0</u>	School Impact \$ <u>0</u>

DG PERMIT NO.
FILE # <u>MSP-2007-198</u>

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)
Grand Junction Community Development Department

THIS SECTION TO BE COMPLETED BY APPLICANT

BUILDING ADDRESS 380 S Camp Road
 SUBDIVISION _____
 FILING _____ BLK _____ LOT _____

TAX SCHEDULE NO. 2945-192-00-944
 SQ. FT. OF EXISTING BLDG(S) 0
 SQ. FT. OF PROPOSED BLDG(S)/ADDITONS 0

OWNER UTCH-CO (ClearTalk)
 ADDRESS 1600 UTE Ave #10
 CITY/STATE/ZIP Grand Junction, CO 81501

MULTI-FAMILY:
 NO. OF DWELLING UNITS: BEFORE 0 AFTER 0
 CONSTRUCTION
 NO. OF BLDGS ON PARCEL: BEFORE 0 AFTER 0
 CONSTRUCTION
 USE OF ALL EXISTING BLDG(S) no change

APPLICANT Cingular Wireless c/o General Dynamics
 ADDRESS 5600 S. Quebec St. Ste 109A
 CITY/STATE/ZIP Greenwood Village, CO 80111
 TELEPHONE 303 694-0242

DESCRIPTION OF WORK & INTENDED USE: Increase Cingular GSM capacity with a total of 3 additional antennas & additional cabinet tower.

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>PD</u> SETBACKS: FRONT: _____ from Property Line (PL) or _____ from center of ROW, whichever is greater SIDE: _____ from PL REAR: _____ from PL MAX. HEIGHT <u>12'</u> MAX. COVERAGE OF LOT BY STRUCTURES _____	LANDSCAPING/SCREENING REQUIRED: YES _____ NO <input checked="" type="checkbox"/> PARKING REQUIREMENT: _____ SPECIAL CONDITIONS: _____
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Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

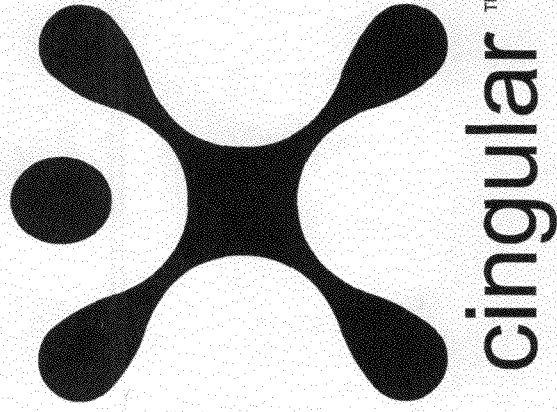
Applicant's Signature [Signature] Date July 5, 2007
 Department Approval [Signature] Date 8/1/07

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No.
Utility Accounting <u>[Signature]</u>			Date <u>8/1/07</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning and Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

REDLANDS
DN4596



New Cingular Wireless PCS LLC, a Delaware limited liability company
188 Inverness Drive West, Suite 400
Englewood, CO 80112
Contact: Rick Sullivan (303) 898-2233

REDLANDS

380 S. CAMP ROAD

GRAND JUNCTION, CO 81503

DN4596

APPLICABLE CODES AND STANDARDS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

COLORADO BUILDING CODE (CBC) 2003.

INTERNATIONAL BUILDING CODE (IBC) 2003.

ELECTRICAL CODE.

NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70 - 1999, NATIONAL ELECTRICAL CODE 2002.

DELAWARE FIRE PROTECTION CODE.

LIGHTNING PROTECTION CODE.

NFPA - 2000, LIGHTNING PROTECTION CODE.

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 308, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION.

TELECOMMUNICATIONS INDUSTRY ASSOCIATION/ELECTRONICS INDUSTRIES ASSOCIATION (TIA/EIA) 222-F, STRUCTURAL STANDARDS FOR STEEL, ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERING (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM.

IEEE 100 (1999), RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE".

TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 445, COAXIAL CABLE CONNECTIONS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

CONSTRUCTION

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT NAMED IS STRICTLY PROHIBITED.

NO.	DATE	DESCRIPTION
0	06.28.07	CONSTRUCTION/ZONING
1	06.29.07	CONSTRUCTION/ZONING
2	07.01.07	CONSTRUCTION/ZONING

SITE INFORMATION

REDLANDS
380 S. CAMP ROAD
GRAND JUNCTION, CO 81503
DN4596

DESIGN TYPE

ANTENNA
MODIFICATION
CABINET ADDS

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1 2

GENERAL CONTRACTOR NOTES

NOT NOT SCALE DRAWINGS
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

PROJECT SUMMARY

ADD ONE POWERWAVE 7750 TO SECTOR ALPHA, BETA AND GAMMA.
CONNECT TO NEW RBS 2106 CABINET.

PROJECT TEAM

APPLICANT/LESSEE:
GENERAL DYNAMICS WIRELESS
5600 S. QUEBEC STREET
SUITE 109 A
GREENWOOD VILLAGE, CO 80111

PROPERTY OWNER
NITCH-COLORADO (CLEAR TALK)
1600 LIFE AVE #10
GRAND JUNCTION, CO 81501
CONTACT: GARY CLARRY
(303) 574-9773
FAX: (970) 241-0437

CONSULTANTS
CONSTRUCTION:
GENERAL DYNAMICS WIRELESS
5600 S. QUEBEC STREET, SUITE 109A
GREENWOOD VILLAGE, CO 80111

SITE ACQUISITION & ZONING:
DENNIS WIGERT
(303) 694-0242

ASB:
BCI
1-800-594-8839

APPROVALS

DISCIPLINE	SIGNATURE	DATE
RF		
CONSTRUCTION (AS BUILT)		
OWNER		
SAC		

UTILITIES

ELECTRICAL: HOLY CROSS ENERGY
775 CASTLE DRIVE
EAGLE, CO, 81630
(970) 328-6360

TELCO: QWEST COMMUNICATIONS
PO BOX 173754
DENVER, CO, 80217
(800) 471-8325

PROJECT INDEX

SHEET NUMBER	DESCRIPTION	ISSUED FOR	CONSTRUCTION REV.
T-1	TITLE SHEET		2
GN-1	GENERAL CONSTRUCTION NOTES		0
A-1	ARCHITECTURAL SITE PLANS		1
A-2	ARCHITECTURAL ELEVATION (ALPHA/BETA/GAMMA)		1

SITE INFORMATION

LONGITUDE: 39° 03' 40.0"
LATITUDE: -108° 38' 20.3"
ELEVATION: -108° 38' 20.3"

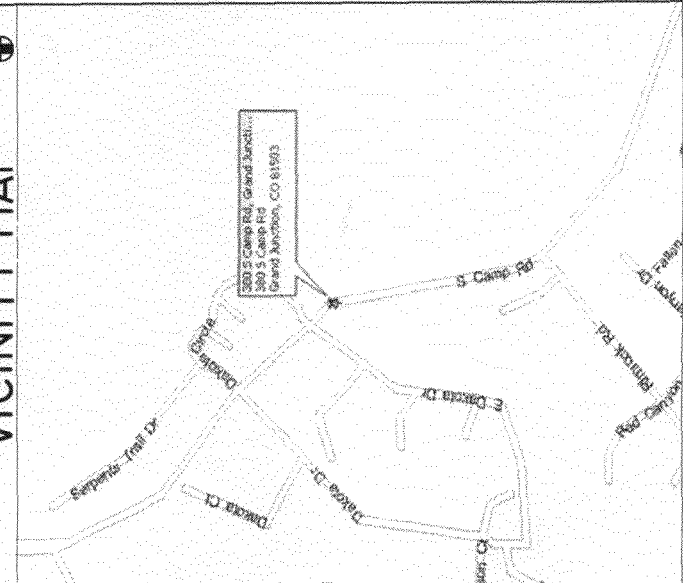
CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF ALL GOVERNING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

DRIVING DIRECTIONS

DRIVING DIRECTIONS FROM 5600 S QUEBEC ST: TAKE I-25 NORTH TO W 6TH AVE. TAKE RAMP ONTO I-70. TAKE I-70 WEST TOWARD GRAND JUNCTION. TAKE EXIT 28. TURN LEFT ONTO CR-24. ROAD CHANGES TO REDLANDS PARKWAY. ROAD CHANGES TO CR-E.75. TURN LEFT ONTO S. CAMP ROAD.

VICINITY MAP



JURISDICTION

CITY OF GRAND JUNCTION
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501
(970) 244-1503

GENERAL NOTES

1. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
2. OCCUPANCY FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS IS REQUIRED).
3. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH.
4. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. CONTRACTOR WILL PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SAFETY EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY TO COMPLETE ALL THE WORK OUTLINED IN ALL DRAWINGS, SPECIFICATIONS, SCOPES OF WORK, BILL OF MATERIALS, AND ANY OTHER DOCUMENT ISSUED BY GENERAL DYNAMICS AND AWS.
6. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES, LAWS, ORDINANCES, REGULATIONS, SAFETY REGULATIONS, ALL OSHA REGULATIONS, ALL PUBLIC AND MUNICIPAL AUTHORITIES AND ANY UTILITY COMPANIES REGULATIONS AND DIRECTIVES.
7. ALL MATERIALS SUPPLIED BY THE OWNER, OWNER'S REPRESENTATIVE, AND THE CONTRACTOR, SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES, LAWS, ORDINANCES, REGULATIONS AND PER MANUFACTURER'S RECOMMENDATIONS.
8. ANY CONTRACTOR SUBMITTING BIDS ON ANY OF THE WORK IS REQUIRED TO VISIT EACH SITE PRIOR TO BID SUBMITTAL AND FAMILIARIZE HIMSELF/HERSELF WITH THE EXISTING CONDITIONS AND UNDERSTAND THE SCOPE OF WORK INTENDED FOR THE PROJECT. THIS WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
9. THE DRAWINGS AND SPECIFICATIONS ARE A GENERAL DIRECTIVE FOR THE SCOPE OF WORK. EXACT DIMENSIONS AND LOCATIONS MAY CHANGE IN THE FIELD. THE CONTRACTOR IS TO VERIFY THE DIMENSIONS AND LOCATIONS AND REPORT ANY AND ALL DISCREPANCIES TO GENERAL DYNAMICS PRIOR TO COMMENCING THE RELATED WORK. ANY MINOR ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS DOES NOT EXCUSE THE CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
10. ALL SITES SHALL BE KEPT CLEAN AND FREE OF DEBRIS ON A DAILY BASIS. ALL TRASH AND MATERIALS NO LONGER BEING USED AT THE SITE MUST BE REMOVED AND PROPERLY DISPOSED OF ON A DAILY BASIS.
11. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK AT THE SITE PRIOR TO A NOTICE TO PROCEED (NTP) BEING ISSUED AND A PRE-CONSTRUCTION MEETING AT THE SITE HAVING TAKEN PLACE.
12. ALL WORK AND MATERIALS FURNISHED BY THE CONTRACTOR SHALL HAVE A WRITTEN ONE-YEAR WARRANTY STARTING AT THE ACCEPTANCE OF THE SITE FROM THE SITE OWNER.
13. THE CONTRACTOR SHALL HAVE A DESIGNATED MANAGER ON SITE AT ALL TIMES THAT ANY WORK IS BEING PERFORMED. A SUBCONTRACTOR SHALL NOT BE DEFINED AS A DESIGNATED MANAGER.
14. THE SUCCESSFUL CONTRACTOR SHALL PROVIDE A SCHEDULE, LIST OF ALL SUBCONTRACTORS WITH ADDRESSES, CELL PHONE NUMBERS AND HOME PHONE NUMBERS, VERIFICATION OF INSURANCE, ANY AND ALL PERTINENT LICENSES AND AN ACCURATE SCHEDULE FOR THE PROJECT PRIOR TO THE ISSUANCE OF A NTP.
15. THE CONTRACTOR IS TO KEEP A COMPLETE AND UP TO DATE SET OF DRAWINGS, SPECIFICATIONS, SCOPE OF WORK AND BILL OF MATERIALS ON SITE AT ALL TIMES. THIS WILL BE REFERENCED AS THE AS-BUILT DRAWINGS AND MUST BE KEPT CURRENT ON A DAILY BASIS. THIS IS IN ADDITION TO THE PERMIT SET.
16. A NEW AND CLEAN SET OF CONTRACT DOCUMENTS WILL BE USED TO TRANSFER THE INFORMATION FROM THE FIELD COPY OF THE AS-BUILT DRAWINGS TO A NEW COPY. THIS NEEDS TO BE SUBMITTED TO GENERAL DYNAMICS WITH THE CLOSE OUT DOCUMENTS.
17. ON ANY CO-LOCATION SITE, THE CONTRACTOR AND ALL ASSIGNS ARE NOT TO USE EXISTING POWER OR TAMPER WITH ANY EQUIPMENT BELONGING TO ANY OTHER CARRIER. FAILURE TO ADHERE TO THIS WILL CAUSE IMMEDIATE DISMISSAL OF THE CONTRACTOR FROM THE PROJECT.
18. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS AND TESTING REQUIRED FOR EACH PROJECT. A 24-HOUR NOTIFICATION TO GENERAL DYNAMICS IS REQUIRED FOR ALL INSPECTIONS AND TESTING. A FIELD COPY OF ALL INSPECTIONS AND TESTING REPORTS AS WELL AS TRUCK TICKETS MUST BE SUBMITTED TO THE OWNERS REPRESENTATIVE WITHIN 24-HOURS OF THE INSPECTION OR TEST.
19. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL MATERIALS ISSUED TO THEM AND REPORT ANY SHORTAGES AND DISCREPANCIES TO GENERAL DYNAMICS AT THE TIME OF ISSUANCE. THE CONTRACTOR SHALL STORE THESE MATERIALS PROPERLY, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND IN A MANNER THAT WILL NOT VOID THE WARRANTY ON ANY ITEM. IF ANY ITEM IS DAMAGED OR UNUSABLE DUE TO IMPROPER HANDLING AND STORAGE THE CONTRACTOR WILL REPLACE IT AT THEIR EXPENSE.
20. THE CONTRACTOR IS RESPONSIBLE TO FURNISH PROPER FACILITIES FOR THE WORKERS ON EACH PROJECT FOR THE DURATION OF THAT PROJECT.
21. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PRESENT CONDITION OF ANY EXISTING BUILDINGS, LANDSCAPING, FENCING, EQUIPMENT, WALKS, DRIVE, AND ATTACHMENTS. IF ANY DAMAGE SHOULD OCCUR, THE CONTRACTOR IS RESPONSIBLE TO RESTORE THE DAMAGE TO A BETTER OR NEW CONDITION.
22. THE GENERAL DYNAMICS REPRESENTATIVE RESERVES THE RIGHT TO RELOCATE ANY EQUIPMENT WITHIN 10 FT. OF THE LOCATION SPECIFIED ON THESE DRAWINGS PRIOR TO INSTALLATION BY THE CONTRACTOR.
23. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE GENERAL DYNAMICS REPRESENTATIVE.
24. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO CONFIRM LENGTHS OF CABLE TRAYS, AND ELECTRICAL LINES. COMPLETION OF WORK AND ACCEPTANCE. PROVIDE CERTIFICATES TO THE CONSTRUCTION MANAGER VERIFYING THAT THE WORK CONFORMS TO THE REQUIREMENTS OF ALL CODES AND AUTHORITIES HAVING JURISDICTION.
25. NO DEVIATIONS FROM DESIGN SHOWN ON THESE DRAWINGS IS ALLOWED, WITHOUT PRIOR WRITTEN APPROVAL FROM THE GENERAL DYNAMICS REPRESENTATIVE. FAILURE TO OBSERVE THIS RULE MAY RESULT IN THE CONTRACTOR CORRECTING THE INSTALLATION AT THEIR EXPENSE.
26. VERIFICATION THAT THE EXISTING ROOFTOP CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS.
27. PROVIDE SUPPORT FOR THE ANTENNA CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.

1. THE CONTRACTOR SHALL GRUB THE SITE AREA AND ANY ACCESS ROAD CLEARING AND REMOVE A MINIMUM OF 6" TO ACHIEVE A STABLE SUB-BASE TO ACCEPT FILL OR OTHER MATERIAL SPECIFIED FOR THE SITE AND ACCESS ROAD. THE GRUBBING SHALL BE REMOVED FROM THE SITE AND NOT REUSED IN ANY PART OF THIS PROJECT.
2. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO CALL THE LOCAL LOCATING AUTHORITIES TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITIES THAT EXIST WITHIN THE ENTIRE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND RELOCATION (AS NECESSARY) OF THE UNDERGROUND UTILITIES OR LINES. THE CONTRACTOR SHALL PLACE THESE ITEMS ON THE AS BUILT DRAWINGS.
3. ALL ROADWORK AND MATERIALS SHALL CONFORM TO ALL STATE AND LOCAL CODES AND IN ACCORDANCE WITH THE DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION STANDARD SPECIFICATIONS.
4. THE ACCESS ROAD, IF REQUIRED, WILL BE CONSTRUCTED FIRST BEFORE ANY OTHER WORK ON THE SITE IS PERMITTED. BRING THE ROAD TO SUB BASE COURSE TO ALLOW CONSTRUCTION TRAFFIC TO USE THE ROAD FOR THE PROJECT AND COMPLETE THE ROAD AFTER CONSTRUCTION OF THE SITE IS SUBSTANTIALLY COMPLETE.
5. ALL SITES AND ACCESS ROADS ARE TO BE CONSTRUCTED TO HAVE A POSITIVE DRAINAGE FLOW AWAY FROM THE SITE AND EQUIPMENT. ANY DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF GENERAL DYNAMICS IMMEDIATELY.
6. A SOIL STERILIZER SHALL BE APPLIED TO ALL GRAVEL SURFACES AND BE EPA REGISTERED LIQUID COMPOSITION AND OF PRE-EMERGENCE DESIGN. THE PRODUCT LABEL AND INFORMATION WILL BE GIVEN TO GENERAL DYNAMICS.
7. SUB-BASE COURSE OF GRANULAR "B" MATERIAL SHALL CONSIST OF WELL GRADED SAND AND GRAVEL WITH NOT MORE THAN 8% PASSING THROUGH #200 SIEVE WITH NOT LESS THAN 35% RETAINED ON A #4 SIEVE. CONTRACTOR TO SUPPLY GRADUATION FOR REVIEW PRIOR TO PLACEMENT.
8. BASE COURSE OF GRANULAR "A" MATERIAL SHALL CONSIST OF 3/4" CRUSHED SAND AND GRAVEL (ROAD MULCH) WITH NOT MORE THAN 8% PASSING THROUGH #200 SIEVE. CONTRACTOR TO SUPPLY GRADUATION FOR REVIEW PRIOR TO PLACEMENT.
9. ALL FILL DIRT SHALL BE CLEAN AND NATURAL. FREE FROM AN DELETERIOUS MATERIALS, ROOTS, ICE, SNOW AND RUBBISH. A COPY OF ALL DELIVERY TICKETS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS FROM DELIVERY.
10. ALL TRENCHES SHALL HAVE A SIX-INCH BASE OF CLEAN SAND FILL TO ACCEPT THE CONDUITS AND THEN ANOTHER 12" OF CLEAN SAND FILL ON TOP OF THE CONDUITS. THE REMAINDER OF THE TRENCH SHALL HAVE A CLEAN COMPACTIBLE FILL PLACED IN MAXIMUM LIFTS OF 8" AND MECHANICALLY COMPACTED TO A DENSITY OF 98% OF STANDARD PROCTOR MAXIMUM DENSITY. METALLIC WARNING TAPE SHALL BE PLACED AT 12" BELOW FINISHED GRADE ALONG THE ENTIRE TRENCH.
11. ALL COMPACTION OF SITE AREAS SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. LARGER AREAS SHALL BE COMPACTED BY A SHEEP'S FOOT VIBRATORY ROLLER WEIGHING AT LEAST 5 TONS. SMALLER AREAS SHALL BE COMPACTED BY A POWER DRIVEN HAND HELD TAMPER. ALL COMPACTED AREAS SHALL BE COMPACTED TO WITHIN 95% OF STANDARD PROCTOR MAXIMUM DENSITY AND TESTED BY AN INDEPENDENT LABORATORY. THE OWNER'S REPRESENTATIVE WILL PROVIDE THE CONTRACTOR WITH THE NAME AND NUMBER OF THE LABORATORY, BUT IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE TESTING. ANY SCHEDULING FOR A PROCTOR WILL BE THE CONTRACTOR'S RESPONSIBILITY AND MUST BE DONE IN A TIMELY FASHION TO ASSURE THE PROJECT WILL NOT BE DELAYED.
12. ALL FILL OR STONE WILL BE PLACED IN MAXIMUM 8" LIFTS PRIOR TO COMPACTING. FINISH GRADE, INCLUDING TOP SURFACE COURSE SHALL EXTEND 12" BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
13. USE RIP RAP IN ANY AREAS WITH A SLOPE GREATER THAN 2:1. ENTIRE DITCH FOR 6 FEET IN ALL DIRECTIONS AT CULVERT OPENINGS, AND AS INDICATED ON PLANS.
14. SEED, FERTILIZER, AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS, DITCHES, DRAINAGE, AND SWALES NOT OTHERWISE RIPRAPPED. SEED AND FERTILIZER SHALL BE APPLIED TO SURFACE CONDITIONS, WHICH WILL ENCOURAGE ROOTING. PREPARE SURFACE PROPERLY TO ACCEPT THE SEED. SOW SEED IN TWO OPPOSITE DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
15. THE CONTRACTOR IS RESPONSIBLE TO ENSURE GROWTH OF THE SEED AND LANDSCAPING AREAS BY WATER, STRAW, MULCH NET AND ANY OTHER PROPER LANDSCAPING METHOD NECESSARY. ALL AREAS MUST HAVE SUSTAINED GROWTH BY THE TIME OF COMPLETION OF THE PROJECT.
16. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS WILL BE AT THE CONTRACTORS EXPENSE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL DAMAGE TO THE SITE SUBSEQUENT TO THE INSTALLATION OF THE POWER AND TELCO LINES.



NEW CINGULAR WIRELESS PCS LLC
100 East 104th Avenue
Englewood, CO 80112

GENERAL DYNAMICS WIRELESS
5600 S. QUEBEC STREET
SUITE 109 A
GREENWOOD VILLAGE, CO 80111
12,50 ACADEMY PARK LOOP
COLORADO SPRING, CO 80910

BCI WIRELESS
1617A PEARL STREET
BOULDER, CO 80302
1-800-584-8839
JOB #617036-D1

STATE

CONSTRUCTION

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NO.	DATE	DESCRIPTION
0	06/28/07	CONSTRUCTION/ZONING
BY		
KC		
BC		
CHK		
APD		

SITE INFORMATION
REDLANDS
380 S. CAMP ROAD
GRAND JUNCTION, CO 81503
DN44596

DESIGN TYPE
ANTENNA
MODIFICATION
CABINET ADDS

SHEET TITLE
GENERAL
NOTES

SHEET NUMBER
REV

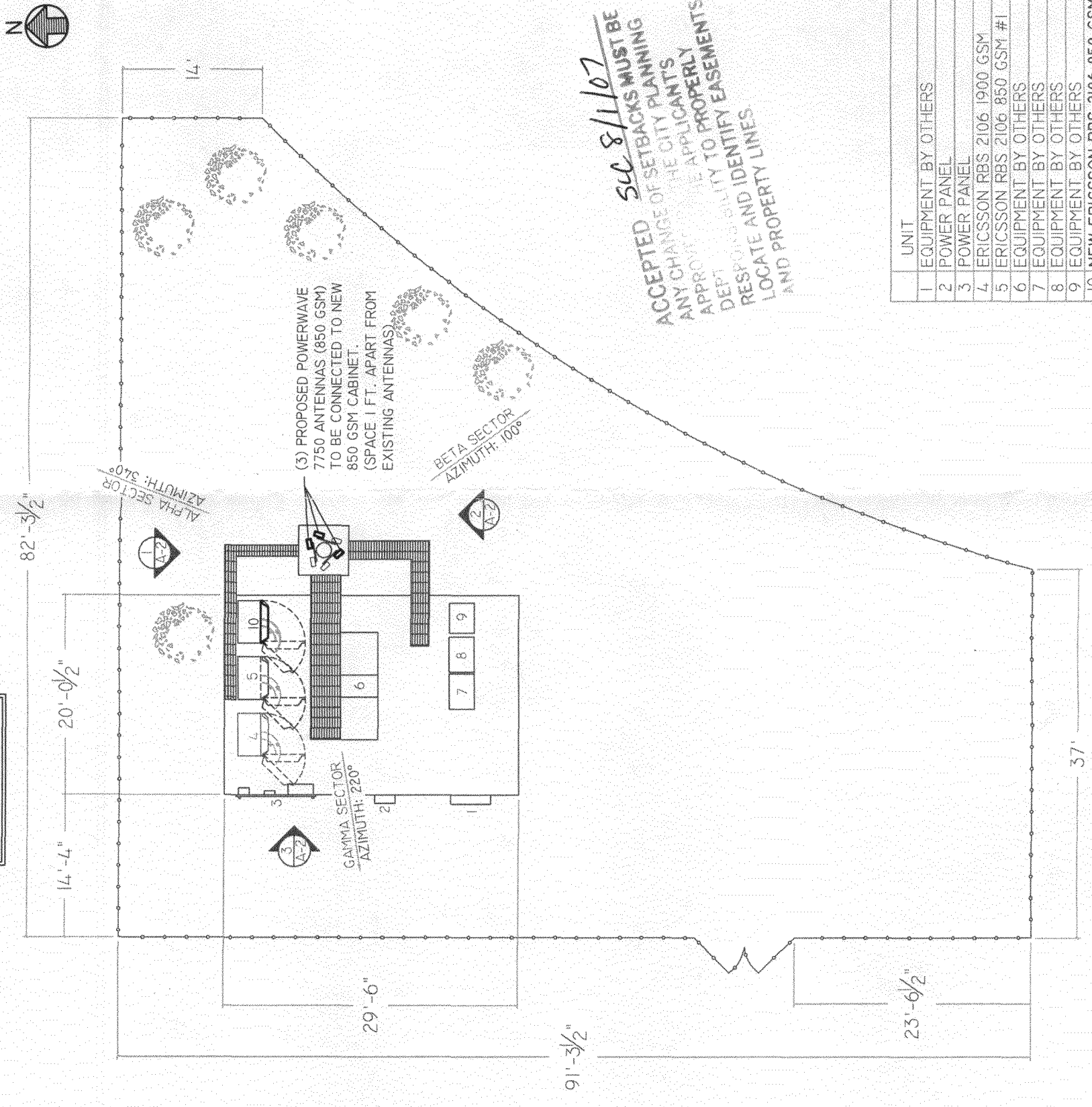
GN-1

GENERAL CONSTRUCTION NOTES

THIS IS NOT A SITE SURVEY
 ALL PROPERTY BOUNDARIES, ORIGINATIONS OF TRAIL, NORTH AND STREET
 HALF-ACRES HAVE BEEN OBTAINED FROM A TAX PARCEL MAP AND
 LISTING OWNERS AND ARE APPROXIMATE.

ELECTRICAL NOTE
 REFER TO SHEET E1 FOR ELECTRICAL
 SPECIFICATIONS AND EQUIPMENT REQUIREMENTS.

ANTENNA NOTE
 1. CONTRACTOR TO VERIFY EXISTING CONDITIONS
 PRIOR TO CONSTRUCTION.
 2. EXISTING ANTENNAS BY OTHERS NOT SHOWN IN
 PLAN FOR CLARITY.
 3. REFER TO PLAN FOR ANTENNA SHIP LOCATIONS
 4. REFER TO SHEET RF-1 FOR ANTENNA DETAILS
 5. USE (Ø) FOR LINES OF 7/8" DIA. (Ø) FOR
 SECTORS.



UNIT	DIMENSION (W x D)
1 EQUIPMENT BY OTHERS	48.5 X 11"
2 POWER PANEL	25 X 10"
3 POWER PANEL	
4 ERICSSON RBS 2106 1900 GSM	51.5 X 36"
5 ERICSSON RBS 2106 850 GSM #1	51.5 X 36"
6 EQUIPMENT BY OTHERS	28.5 X 45"
7 EQUIPMENT BY OTHERS	42 X 30.25"
8 EQUIPMENT BY OTHERS	42 X 30.25"
9 EQUIPMENT BY OTHERS	36.25 X 30"
10 NEW ERICSSON RBS 2106 850 GSM	51.5 X 36"



GENERAL DYNAMICS WIRELESS
 5600 S. QUEBEC STREET
 SUITE 109 A
 GREENWOOD VILLAGE, CO 80111

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 1-800-384-8839
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STAMP

CONSTRUCTION

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REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK	APP
0	06.28.07	CONSTRUCTION/ZONING	KC	BC	
1	06.29.07	CONSTRUCTION/ZONING	MM	BC	

SITE INFORMATION
 REDLANDS
 380 S. CAMP ROAD
 GRAND JUNCTION, CO 81503
 DNL596

DESIGN TYPE
 ANTENNA
 MODIFICATION
 CABINET ADDS

SHEET TITLE
 ARCHITECTURAL
 SITE PLAN

SHEET NUMBER
 A-1



REDLANDS WIRELESS PCS, LLC
1847 S. Camp Road
Grand Junction, CO 81503
Engineering, CO 80112

GENERAL DYNAMICS WIRELESS
5600 S. QUEBEC STREET
SUITE 109 A
GREENWOOD VILLAGE, CO 80111
1450 ACADEMY PARK LOOP
COLORADO SPRING, CO 80910

BCI WIRELESS
1617A PEARL STREET
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1-800-584-8839
JOB #617036-DI

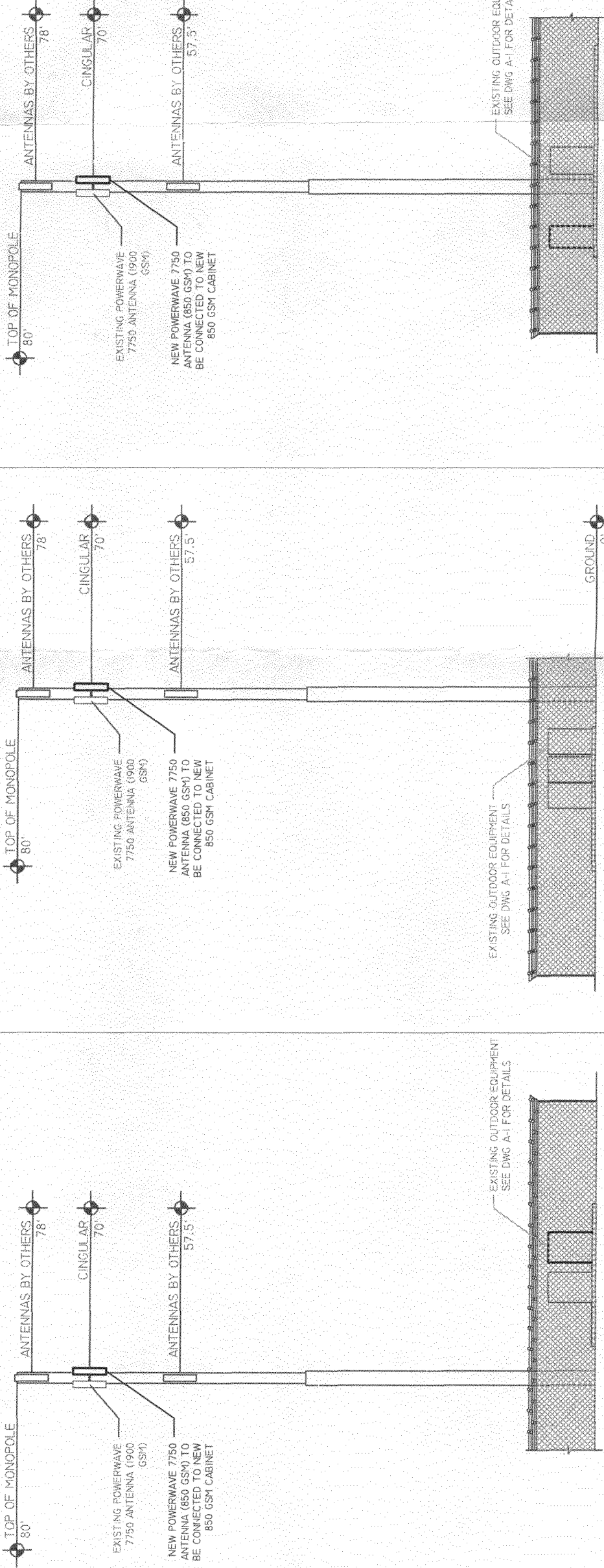
STAMP
CONSTRUCTION

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NO.	DATE	DESCRIPTION
0	06/28/07	CONSTRUCTION/ZONING
1	06/29/07	CONSTRUCTION/ZONING

REVISIONS
BY: MM
CHK: BC
APD: BC

SITE INFORMATION	
REDLANDS	380 S. CAMP ROAD
	GRAND JUNCTION, CO 81503
	DN4596
DESIGN TYPE	
ANTENNA	
MODIFICATION	
CABINET ADDS	
SHEET TITLE	
ARCHITECTURAL	
SITE ELEVATION	
SHEET NUMBER	REV
A-2	1



ACCEPTED SEE 8/1/07
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.