

FEE \$ 10 -
 TCP \$ 1589 -
 SIF \$ 460 -
 Total \$ 2059

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. MSP-2008-116
 Septe
 Revised SITE PLAN 7/23/08

Building Address 2590 B 3/4 Rd - Phyllis Henderson 3-19-08
~~2594 26 3/8 Rd~~
 Parcel No. 2945-271-00-045
 Subdivision _____
 Filing _____ Block _____ Lot _____

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed _____
 Sq. Ft. of Lot / Parcel 2.68 ac
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) n.a.
 Height of Proposed Structure _____

OWNER INFORMATION:

Name Derril Rockwell
 Address 2594 26 3/8 Rd
 City / State / Zip Grand Jct., Co. 81503

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Derril Rockwell
 Address same
 City / State / Zip same
 Telephone 970-985-2578

*TYPE OF HOME PROPOSED:
 Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: present copy of Sewage Disposal Sys. approval.

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>CSR</u>	Maximum coverage of lot by structures <u>N/A</u>		
SETBACKS: Front <u>15'</u> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		
Side <u>5'</u> from PL Rear <u>10'</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>65'</u>	Special Conditions <u>Certif. of Occupancy will be on hold until waterline Easement Agreement is signed and recorded with Mesa Co. Clerk.</u>		
Voting District <u>E</u> Driveway Location Approval <u>EH</u> <small>(Engineer's Initials)</small>	<u>FUTURE ACCESSORY STRUCTURES CAN BE 75% of principal.</u>		

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Derril Rockwell Date 4 17 08
 Department Approval Wendy Spurr Jordan Date 3-19-08 4/17/08

Additional water and/or sewer tap fee(s) are required: YES NO <input checked="" type="checkbox"/> W/O No.	Utility Accounting <u>U. Bensley</u> Date <u>4/17/08</u>
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VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

CITY OF
Grand Junction
COLORADO

PUBLIC WORKS & PLANNING

Reviewed by
SUE PUGH
7/29/08

February 7, 2008

Jennifer Caldwell
Community Development Center
PO Box 20000-5034
Grand Junction, CO 81502-5034

Subject: Waiver of sewer connection
Location: 2590 B 3/4 Road (Tax # 2945-271-00-045)

Dear Ms. Caldwell,

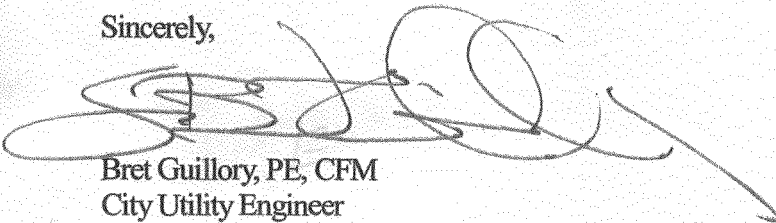
Mesa County Health Department regulations require that a connection to sewer be made when the property to be served is within 400 feet of the sewer through platted rights of way and easements. Sewer is currently available to the north of this parcel within the B 3/4 Road right of way, at the property line of the property referenced above. The sewer line is a pressurized force main that would not be suitable as a connection point for a single family residence.

The owner wished to construct a septic system on the existing lot that would serve a single family home. It is highly unlikely that a gravity sewer main would be constructed adjacent to this parcel at some time in the foreseeable future. Therefore we will not ask that a power of attorney be provided for this property as a condition for receipt of a septic system variance.

Therefore, in accordance with the Persigo Agreement, and section 3.14 B of the Mesa County Individual Sewage Disposal Systems (I.S.D.S.) Regulations, this letter is to serve as written approval for Mr. Derril Rockwell to reconstruct a septic system for one single family dwelling on the above referenced property.

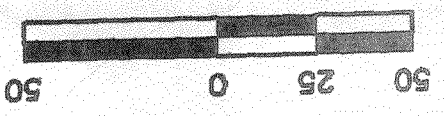
If you have any questions regarding the above, please call me at 244-1590.

Sincerely,

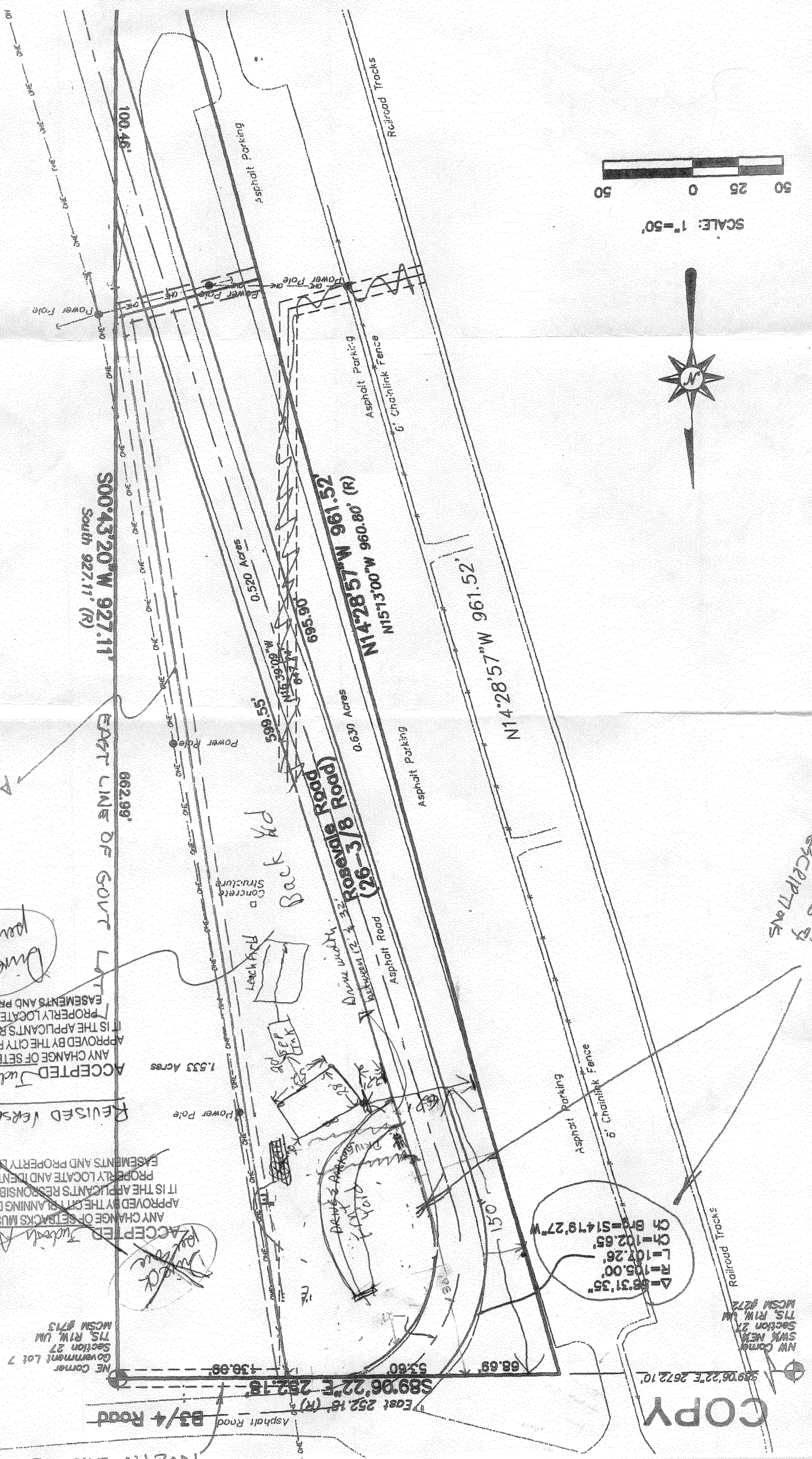
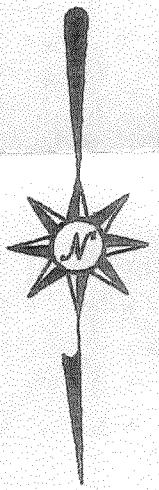


Bret Guillory, PE, CFM
City Utility Engineer

cc Derril Rockwell
Debi Overholt, City of Grand Junction - Customer Services Division
File



SCALE: 1"=50'



APPROX LOCATI
PER BOOK 15

Check
for SWA H.
7/23/08

ACCEPTED
Jude A. K...
7/23/08
REVISED VERSION

ACCEPTED
Jude A. K...
4/19/08
REVISED VERSION

NE Corner
Government Lot 7
Section 27
T1S, R1W, LM
MCSM #713

NW Corner
SWK NEA
Section 27
T1S, R1W, LM
MCSM #272

COPY

D.C.H.S. by
DESCRIPTIONS

$\Delta = 56.31'35"$
R = 105.00'
L = 107.26'
Ch = 102.65'
Ch Br = S14°19'27"W

East 252.18' (R)
S89°06'22"E 252.18'

S00°43'20"W 927.11'
South 927.11' (R)

662.99'

695.90'

599.55'

1.533 Acres

0.520 Acres

0.630 Acres

0.520 Acres

0.520 Acres

0.520 Acres



Design Change

Permit Number 013228 7-15-08

Individual Sewage Disposal System

Permit

Application Number 08-021

DATE: 02/11/2008

Tax Schedule # 2945-271-00-045

- Standard Design, RPE Design, Terra Lift

Construction Address 2590 B 3/4 Road (2594 26 3/8 Road) City Grand Junction State CO Zip 81503

Subdivision Owners Name Derril Rockwell Owners Address 2594 26 3/8 Road City Grand Junction State CO Zip 81503

Applicant same Address Installer Name: OWNER INSTALLER RPE Design by

Form section for system type: Single Family, Multi-Family, Commercial. Includes checkboxes for New, Modification, Tank Only, Year Round, Seasonal, Public, Well, Cistern, Spring, Surface, etc.

Form section for system layout: Type of system (Absorp. Trench, Trench Layout, Bed Layout, Graveless System), Building sewer depth, Total Trench Length, Bed Length, # of units, etc.

COMMENT: Addition of basement plumbing shall require a lift station and design by Engineer. Install west and 30' south of 7-15-08 test Pit "A" where perc. Rates were slow apparently due to underlying rock. 100 ft. from nearest edge of leach trench to Spring.

10 ft. from all property lines, Tank shall be minimum 50' from spring. Min. 10' from house. May use the 1250 gal tank on site. Use 1 1/2" washed rock

Design amended/change 7-16-08 Prefer installation by MCHD Licensed Installer. If however the owner still wishes to install call prior to construction.

This permit is issued with the understanding that the sewage disposal system will be located and constructed in accordance with Regulations of the State of Colorado and the Mesa County Health Department. THIS PERMIT IS VALID FOR 1 (ONE) YEAR and must be available to Health Department Representatives upon request during construction. NO REFUNDS WILL BE GIVEN AFTER 1 (ONE) YEAR, OF THE DATE OF PAYMENT.

Table with 3 columns: Issued By (Dana Black), Date Issued (02/14/2008), Perc Fee (\$0.00), Inspected By, Final Inspection, Permit Fee (\$373.00)

APPROX. LOCATE
HOUSE

SPRING

100' minimum

keep trenches 30'
south and west of this
test pit

A

B

C

REPAIR
AREA

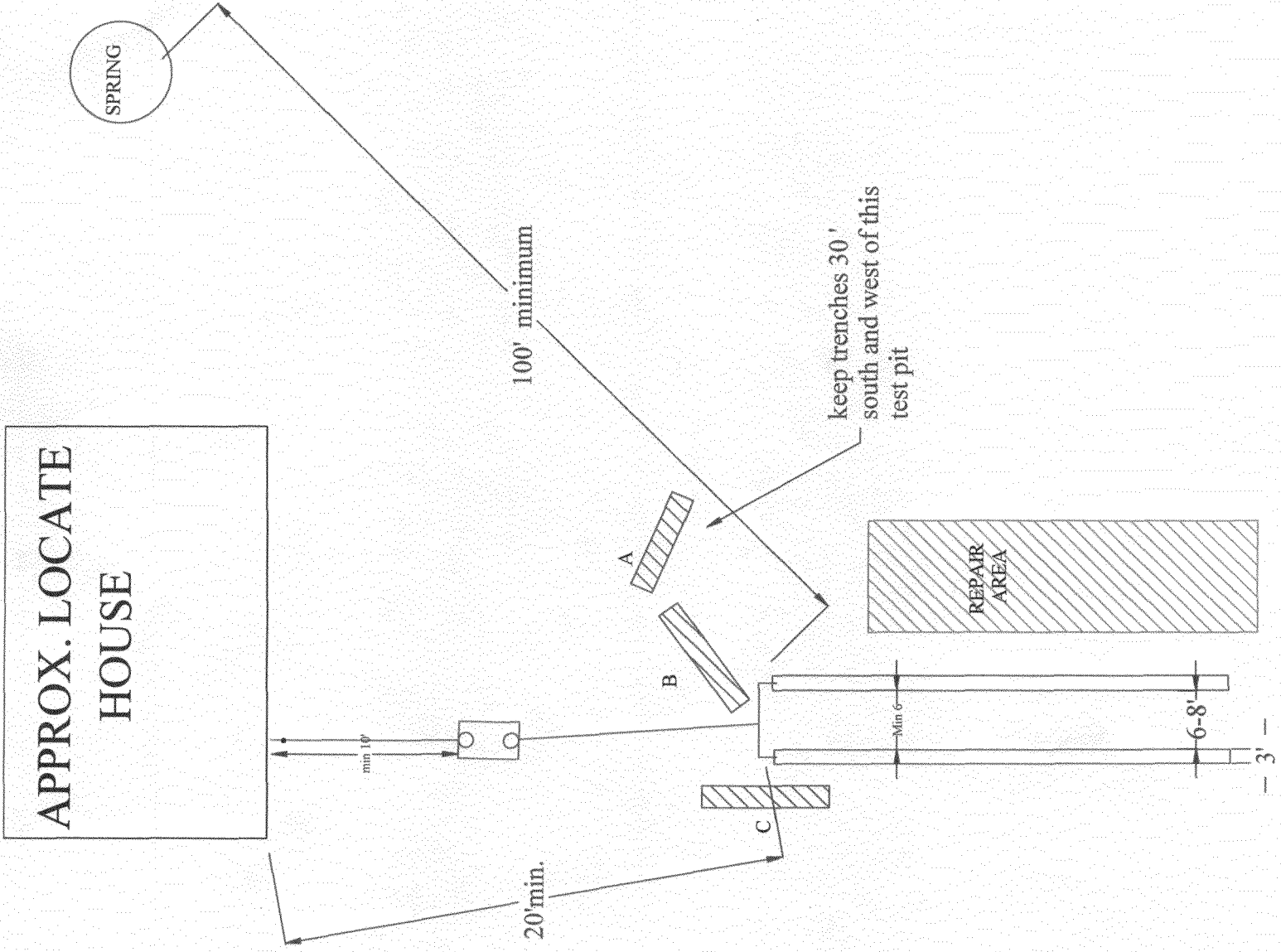
min 10'

20'min.

Min 6'

6-8'

3'



Septic System Setbacks

D. Minimum horizontal distances Expressed in feet, of components features.

	Septic Tank, Lift Station, Dosing Tank, Pump chamber and Treatment plant	Leachfield (trench, bed, or mound), Pit Privy, Silt trench, Sand filter, and Subsurface dispersal system.	Building sewer & Solid effluent lines	Vault privy, Vault	Lined Evapotranspiration system or lined Wastewater pond	Unlined or partially lined Evapotranspiration system or unlined Wastewater pond	Lined Sand filter	Unlined Sand filter in soil with a percolation rate slower than 60 mm/in	Seepage pit or Dry well	Dispersal system utilizing Aerosol methods	Surface disposal system	
<u>Potable water</u>	(2) 50	(3) 100	(2)(4) 50	50	60	100	60	100	(3) 100	(3) 100	100	<u>Potable water</u>
Wells, Springs, or suction lines.												Wells, Springs, or suction lines.
Potable water and supply lines	(2)(4) 10	(2)(4) 25	(2)(4) 10	(2)(4) 10	(2)(4) 10	(2)(4) 25	(2)(4) 10	(2)(4) 25	(2)(4) 50	(2)(4) 10	(2)(4) 25	Potable water and supply lines
Cistern (potable water supply)	25	25	(2)(4) 25	25	25	25	25	25	25	50	25	Cistern (potable water supply)
<u>Non-potable water</u>	10	25	(2)(4) 10	10	10	25	10	25	25	10	10	<u>Non-potable water</u>
Gated Pipe												Gated Pipe
Flood Irrigated fields.	10	25	10	10	10	25	10	25	25	10	10	Flood Irrigated fields.
Piped irrigation line	10	10	(2)(4) 10	10	10	10	10	10	25	10	10	Piped irrigation line
Lake, Water course, stream, Waste ditch, and irrigation ditch	50	(3) 50	(2)(4) 50	25	25	25	25	25	(3) 50	(3) 25	25	Lake, Water course, stream, Waste ditch, and irrigation ditch
Dry gulch, intermittent irrigation ditch	10	(3) 25	(2)(4) 10	10	10	15	10	15	(3) 25	(3) 10	15	Dry gulch, intermittent irrigation ditch
Lined water course	25	25	(2)(4) 25	10	10	10	10	25	25	25	10	Lined water course
<u>Structures</u>	(1) 10	20	0	15	15	15	15	15	20	125	15	<u>Structures</u>
Dwelling or Occupied structure												Dwelling or Occupied building
Unoccupied building or structure	(1) 5	5	0	5	15	15	15	0	10	50	10	Unoccupied building or structure
<u>Misc.</u>	10	10	(2)(4) 10	10	10	10	10	10	25	10	10	<u>Misc.</u>
Property lines												Property lines
Trees	10	15	5	10	10	15	10	15	15	0	0	Trees
Pool (from deck)	10	20	10	10	10	20	10	20	20	10	10	Pool (from deck)
Geo-Thermal lines	(2)(4) 10	(2)(4) 25	10	10	10	25	10	25	25	10	10	Geo Thermal lines
Septic Tank	6	6	0	0	5	10	5	10	6	10	10	Septic Tanks
Groundwater	0	4	0	0	0	4	0	4	4	4	4	Groundwater
Bedrock	0	4	0	0	0	4	0	4	0	0	4	Bedrock
Subsoil drain	10	25	(2)(4) 10	10	10	25	10	25	25	0	10	Subsoil drain

Note:

- (1) Distance shown shall not apply to treatment plants or effluent lines where recycling is permitted.
- (2) Crossings or encroachments may be permitted at the points as noted above provided that the water conveyance pipe is encased for a minimum distance of ten (10) feet on each side of the crossing. A length of pipe shall be used with a minimum Schedule 40 rating must be glued or secured in a watertight fashion to the ends of the encasement pipe. A hole of sufficient size to accommodate the pipe shall be drilled in the lowermost section of the rigid cap so that the conveyance pipe rests on the bottom of the encasement pipe. The area in which the pipe passes through the endcaps shall be sealed with an approved underground sealant compatible with the piping used.
- (3) Add 8 feet additional distance for each 100 gallons per day of design flow over 1000 gallons per day as specified in the table.
- (4) Encroachments may be permitted provided the water or wastewater conveyance pipe is encased as in (2) above, specified in the table.

Note:

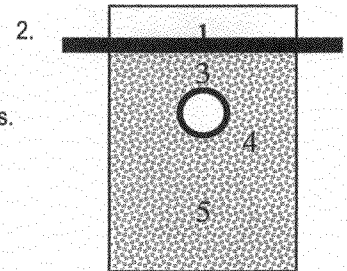
The minimum distances shown above shall be maintained between the system components and the physical features described. Where soil, geological or other conditions warrant, greater distances may be required by the Water Quality Control Division pursuant to Section 25-8-206, C.R.S. in accordance with the authority prescribed by law and rules and regulations implemental of said section. Components which are not watertight should not extend into areas of the root system of nearby trees. For repair or upgrading of existing systems where the size of the lot precludes adherence to these distances, repaired facility shall not be closer to water supply components than the existing facilities.

Note:

Pipe meeting ASTM standard D1785, Schedule 40, shall be required to be installed when the building sewer, or any portion of the outlet pipe from the septic tank to the distribution or dispersal area, is located under a driveway or under any other area subject to surface activity. There shall be at least two (2) feet of cover over pipe of ASTM standard D1785, Schedule 40. Pipe of ASTM standard D1785, Schedule 40 may also be installed when there is less than two (2) feet of cover provided the pipe is encased within at least 16 gauge corrugated pipe, or within concrete.

Leach Field Construction

1. At least one foot of earth cover.
2. Gravel covered with straw or untreated building paper.
3. Two inches of gravel over distribution pipe.
4. Four inch perforated plastic pipe, laid level, perforations down, and capped on the ends.
5. 1 inch to 2 ½ inch clean, uniform in size, gravel
6. Bottom of trench or bed shall be level.



The minimum horizontal distance required from cut banks and fill areas to individual sewage disposal systems components discharging effluent into or onto the surrounding soil shall be four (4) times the height of the measured distance from the top edge of the bank or a maximum of 25 ft. (see diagram)

