

FEE \$	10.00
TCP \$	0
SIF \$	0

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. AL

115505-14197

Building Address 3146 D 1/2 RD
 Parcel No. 2943-152-85-001
 Subdivision Summit View Meadows
 Filing _____ Block 1 Lot 1

No. of Existing Bldgs 2 No. Proposed 1
 Sq. Ft. of Existing Bldgs 2075 Sq. Ft. Proposed 3840
 Sq. Ft. of Lot / Parcel 35544.96
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) _____
 Height of Proposed Structure 22 1/2 Ft

OWNER INFORMATION:

Name Eugene Hunt
 Address 3146 D 1/2 RD
 City / State / Zip Grand Jct, Colorado

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): Accessory Building 60x64

APPLICANT INFORMATION:

Name Eugene Hunt
 Address 3146 D 1/2 RD
 City / State / Zip Grand Jct, Colorado
 Telephone 503-332-4174

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R-8
 SETBACKS: Front _____ from property line (PL)
 Side _____ from PL Rear _____ from PL
 Maximum Height of Structure(s) _____
 Voting District _____ Driveway Location Approval _____
 (Engineer's Initials)

Maximum coverage of lot by structures _____
 Permanent Foundation Required: YES _____ NO _____
 Parking Requirement _____
 Special Conditions Accessory building to residence on this property. No living unit or business allowed.

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Eugene Hunt Date 2-21-2008

Department Approval Approved per Tim Moore Date 2-21-08

Additional water and/or sewer tap fee(s) are required: YES NO W/O No WTR / SWR Change

Utility Accounting [Signature] Date 2/21/08

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

City of Grand Junction GIS Zoning

Thursday, February 21, 2008 12:03 PM



ACCEPTED *GN approved per Tim*
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. 2-2
IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



GENERAL NOTES AND SPECIFICATIONS

1.0 This building is designed in accordance with the following codes and specifications:
 2003 International Building Code (IBC)
 2001 Edition National Design Specifications for Wood Construction*

Use Group(s) Classification: U
 Type of Construction: TYPE V-B
 Building Gross Square Footage: 3840 Sq. Ft.
 Number of Occupants: 0

Building Design Loads:
 Design Truss Load: 39 PSF Total Load
 Design Snow Load: 30 PSF Ground Snow Load (Pg) (per IBC 2003)
 Design Wind Speed: 90 MPH (EXP C per IBC 2003)

Seismic Use Group: I
 Seismic Design Category: C
 Maximum Considered Earthquake Ground Motion for 2 Second Spectral Response ($S_{0.2}$): 38.2%g
 Maximum Considered Earthquake Ground Motion for 1.0 Second Spectral Response (S_1): 8.4%g

2.0 All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .50 lbs. per cubic foot.

3.0 Grading should be such that the surface water is drained away from the foundation. Minimum grade would be one foot vertical drop per 10 feet horizontal away from the foundation.

4.0 Remove all topsoil and organic material and compact soils beneath the structure. All fill material should be granular, well-graded sand, or sand and gravel, free from any organic material. Fill material placed under structure should be placed in eight inch lifts and compacted to 95%. No frozen material shall be used.

5.0 Electrical work is not a part of this drawing and shall be installed as per applicable codes.

6.0 Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.

7.0 Plumbing work is not a part of this drawing and shall be installed as per applicable codes.

8.0 All nails are to be threaded hardened steel unless otherwise noted.

9.0 Based on information supplied by the client to the building designer, this design is based on a building site with sand, silty sand, clayey gravel, silty gravel, clayey gravel soil. As per the IBC 2003 building code and Referenced Standard ASCE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC 2003 code and/or the local building official for exceptions.

NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, as well as the floor, footings, and foundation walls, are excluded from this plan. It should also be noted that the designer makes no representation as to the soil bearing capacity or condition of the soil at the building site. It is the understanding of both Cleary Building Corp. and Karl H. Lemmenes that the client is contracting with other design professionals who will prepare a complete design of the concrete floor, footing and foundation base on existing site conditions.

BUILDING LOCATION

3146 D 1/2 RD
 GRAND JUNCTION, CO 81506
 COUNTY: MESA

BUILDING USAGE: PRIVATE GARAGE

I hereby certify this engineering document was prepared by me or under my direct personal supervision and that I am a licensed Professional Engineer under the laws of the State of Colorado.

Signature: *Karl H. Lemmenes* Date: 11/30/08
 Karl H. Lemmenes
 Printed or Typed Name:
 My license renewal date is November 30, 2008
 Pages covered by this seal: Pages 1-7

37006
 REGISTERED PROFESSIONAL ENGINEER
 COLORADO
 KARL H. LEMMENES

DATE:	1/29/07	
DRAWN BY:	M. GRUENHAGEN	
SCALE:	NONE	
SALES SPECIALIST:	DOPP DELTA	
REVISIONS:		
NO.	DATE	BY
1	---	---
2	---	---
3	---	---

GENE HUNT
 60'x64'x12'-8" COMMERCIAL
 ELEVATIONS

CLEARY
 BUILDING CORP.
 www.clearybuilding.com
 190 PAOLI STREET
 P.O. BOX 930720
 VERONA, WI 53593
 (800) 373-5550

JOB NO.
 08-0017

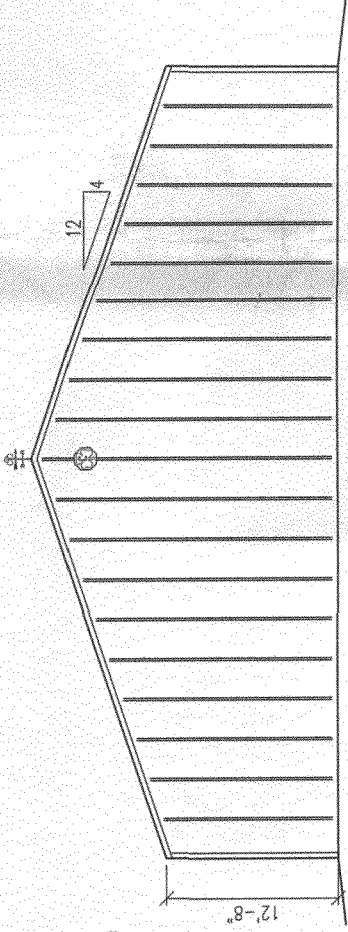
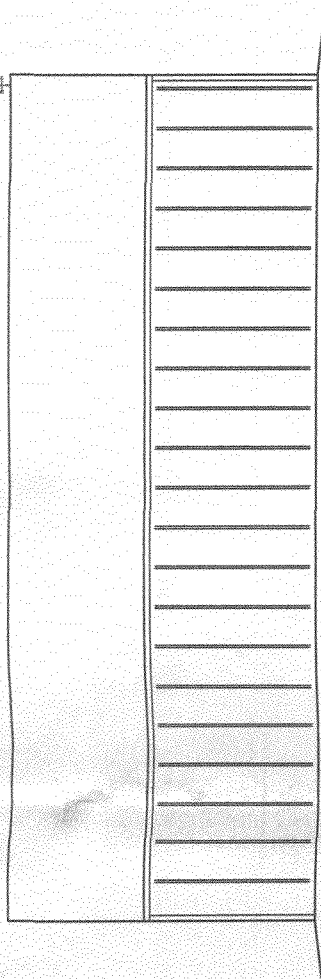
SHEET
 1 OF 7

TABLE OF CONTENTS

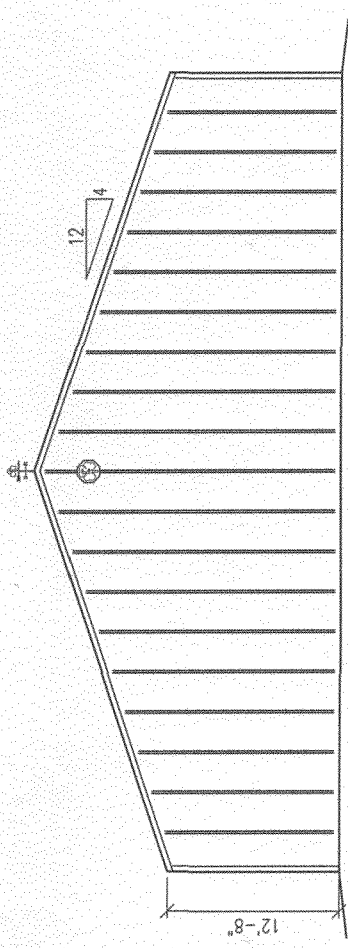
- ELEVATIONS
- FLOOR PLAN
- CONCRETE BRACKET LAYOUT PLAN
- TYPICAL SECTION
- HEADER DETAILS
- DIAPHRAGM ACTION DETAILS
- TRUSS DIAGRAMS

(1) CLEARY WEATHERVANE
 OWNER LOCATE

NORTH ELEVATION

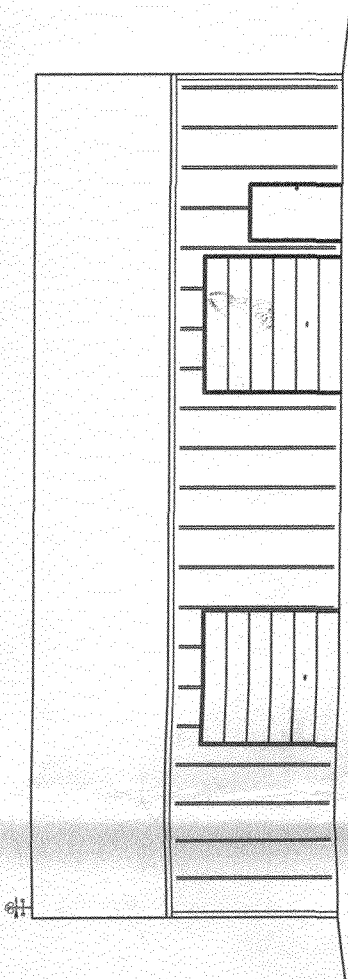


WEST ELEVATION



EAST ELEVATION

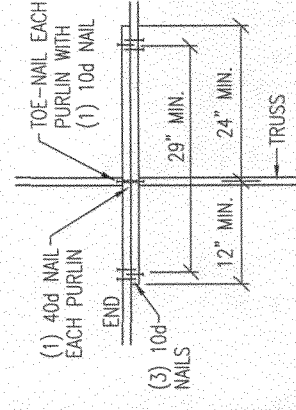
SOUTH ELEVATION



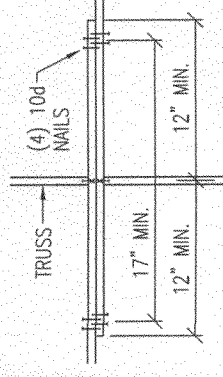
COLUMNS:	COLUMN SIZE:	HOLE DEPTH:	FOOTING SIZE:	NUMBER OF COLUMNS REQUIRED:
SIDEWALLS	3-PLY 2x6x12'-8"	----	ON CONCRETE SLAB (100'+0")	10
CORNERS	3-PLY 2x6x12'-8"	----	ON CONCRETE SLAB (100'+0")	4
(A) SIDEWALL	4-PLY 2x6x12'-8"	----	ON CONCRETE SLAB (100'+0")	2
(B) DOOR	3-PLY 2x6x12'-8"	----	ON CONCRETE SLAB (100'+0")	2
(C)	3-PLY 2x6x16'-0"	----	ON CONCRETE SLAB (100'+0")	4
(D)	3-PLY 2x6x19'-4"	----	ON CONCRETE SLAB (100'+0")	4
(E)	3-PLY 2x6x22'-8"	----	ON CONCRETE SLAB (100'+0")	2

CONT. PURLIN DESIGN
PURLINS SPACED AT 24" O.C.

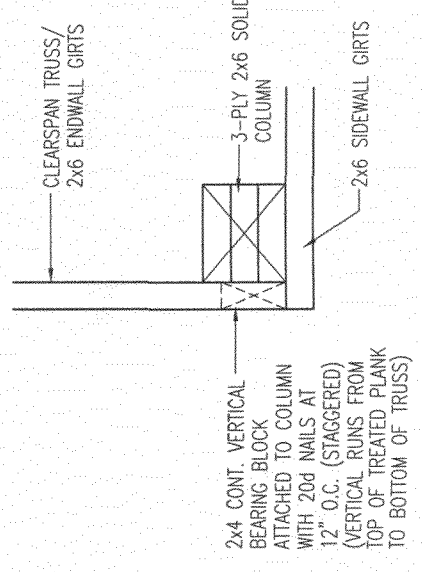
CONSTRUCTION FOREMAN NOTE:
BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



PURLIN LAPS AT FIRST TRUSS FROM EACH ENDWALL



ALL REMAINING PURLIN LAPS

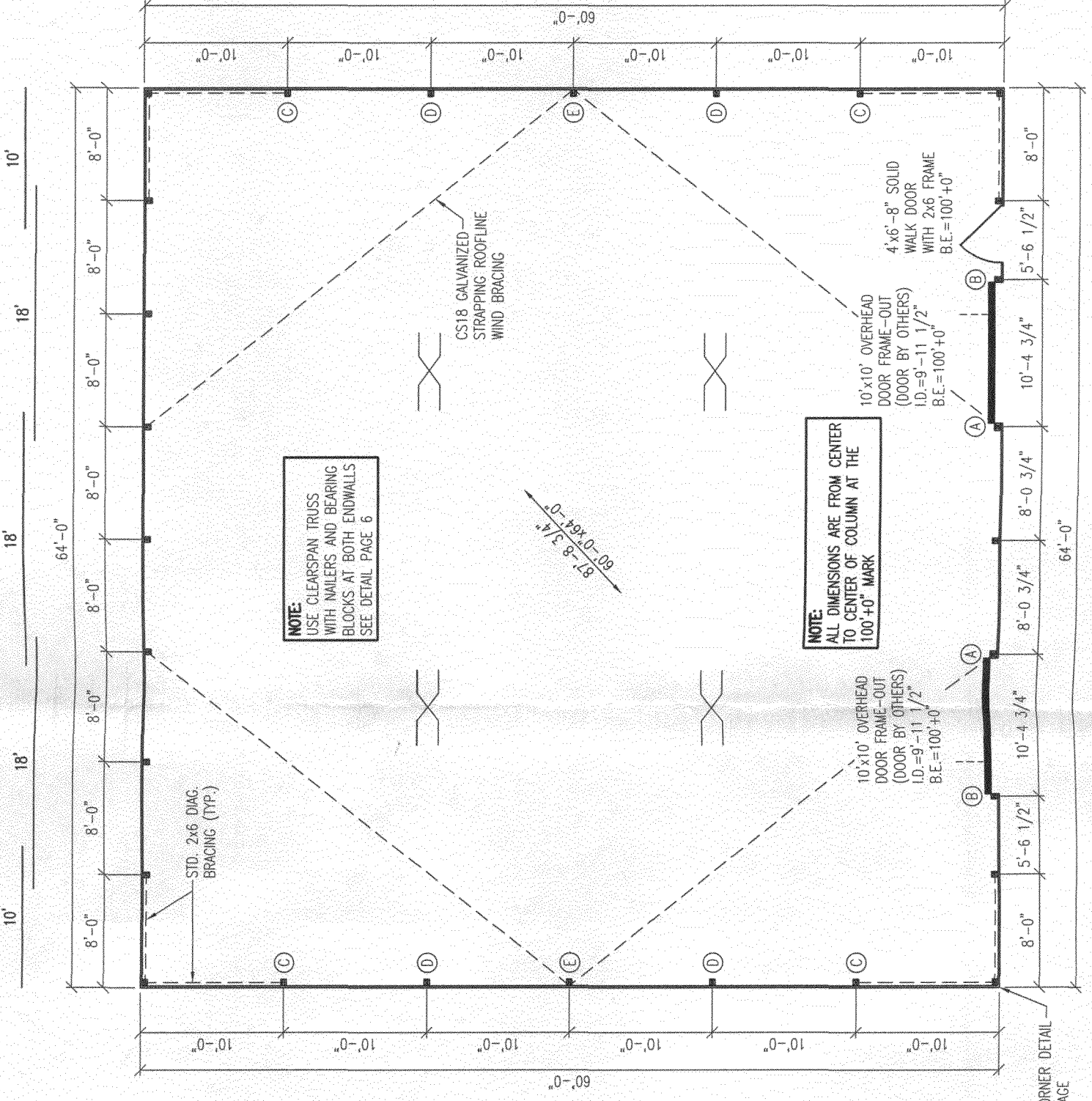


CORNER DETAIL

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ATTACH ALL SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 - 2x6 JACKBRACING AT ENDWALL COLUMNS
 - SEE DETAIL PAGE 6
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - SEE DETAIL PAGE 6
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - SEE DETAIL PAGE 6

STEEL COLORS:	NOTES:	BUILDING ACCESSORIES:
ROOF: CHARCOAL	100'+0" MARK: TOP OF SLAB	(1) CLEARY WEATHERVANE (OWNER LOCATE)
SIDES: LIGHT GRAY	WALK DOORS: (1) 4068	BUILDING ON CONCRETE SLAB WITH 79-101 BRACKETS
GABLES: LIGHT GRAY	WINDOWS: --	3/4"x1" SURE SEAL ENTIRE BUILDING LESS DOORS
DOORS: --	EAVELITE: --	STEEL TO 100'+0" WITH FABRAL BOTTOM TRIM
TRIM: CHARCOAL	RIDGE/LITE: --	INSIDE FILLER STRIP AT EAVE (ROOF AND SIDE)
ACCENTS: --	VENTS: --	INSIDE FILLER STRIP AT TREATED PLANK
WAINSCOTING: --	ROOF PITCH: 4/12	

PURLIN LAYOUT



NOTE:
USE CLEARSPAN TRUSS WITH MAILERS AND BEARING BLOCKS AT BOTH ENDWALLS
SEE DETAIL PAGE 6

NOTE:
ALL DIMENSIONS ARE FROM CENTER TO CENTER OF COLUMN AT THE 100'+0" MARK

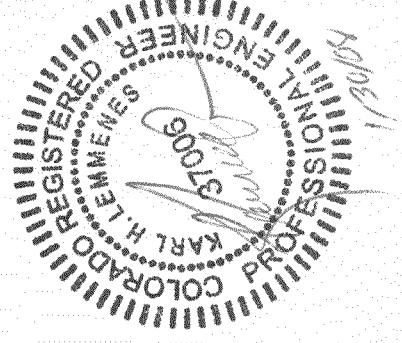
SEE CORNER DETAIL THIS PAGE

DATE:	1/29/07	
DRAWN BY:	M. GRUENHAGEN	
SCALE:	NONE	
SALES SPECIALIST:	DOPP DELTA	
REVISIONS:		
NO.	DATE	BY
1	---	---
2	---	---
3	---	---



GENE HUNT
60'x64'x12'-8" COMMERCIAL
FLOOR PLAN

CLEARY
BUILDING CORP.
www.clearybuilding.com
190 PAOLI STREET
P.O. BOX 930220
VERONA, WI 53593
(800) 373-5550



JOB NO.
08-0017
SHEET
2 OF 7

DATE:
1/29/07
DRAWN BY:
M.GRUENHAGE
SCALE:
NONE
SALES SPECIAL
DOPP
DELTA

REVISIONS:

NO.	DATE
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GENE HUNT
60'x64'x12'-8" COMMERCIAL

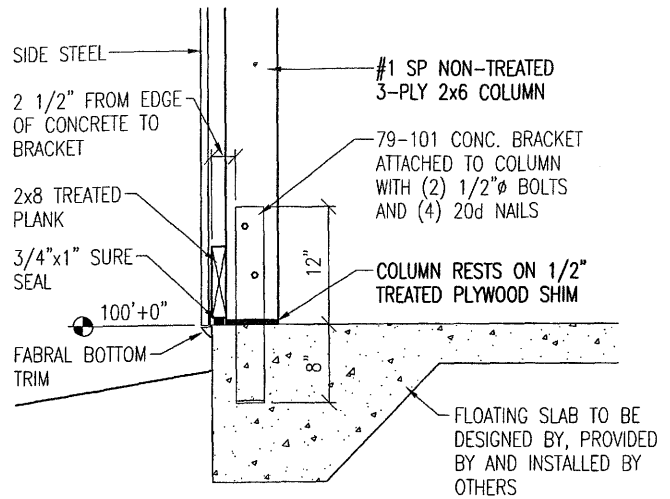
CLEAR
BUILDING COF
www.clearbuilding.com
190 PAOLI STREET
P.O. BOX 930221
VERONA, WI 5359
(800) 373-5556

PROFESSIONAL ENGINEER
KARL H. LEMMENS
37006
113012
JOB NO
08-001
SHEET
3 OF 7

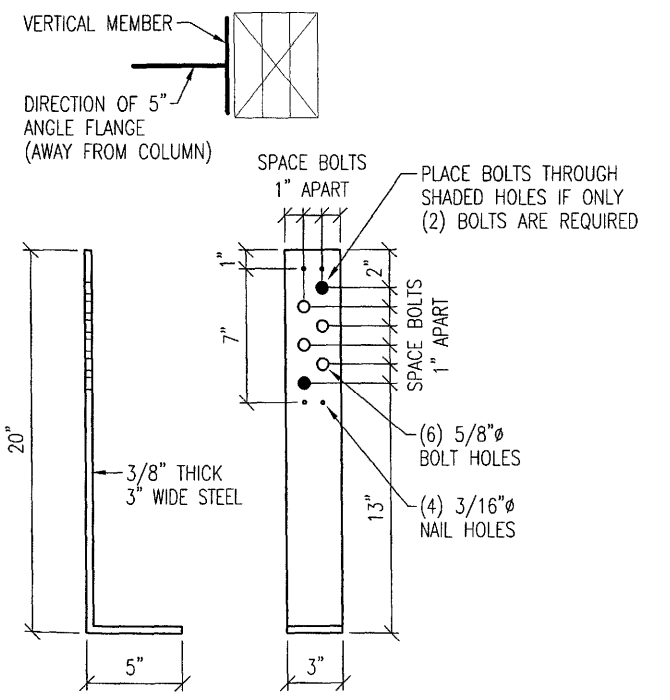
— NORTH —

NOTE:
NEITHER THIS PLAN NOR THIS PAGE IS INTENDED TO DEPICT THE DESIGN OF THE CONCRETE WALL, FOUNDATION, OR FOOTING. THIS PAGE IS ONLY MEANT TO SHOW THE LAYOUT OF THE CONCRETE BRACKETS. THE DESIGN OF THE CONCRETE WALL, FOUNDATION, AND FOOTING ARE TO BE DONE BY OTHERS. THE CLIENT IS ADVISED TO CONTRACT WITH A QUALIFIED PROFESSIONAL FOR THIS DESIGN WORK. A SOIL TEST MAY BE REQUIRED.

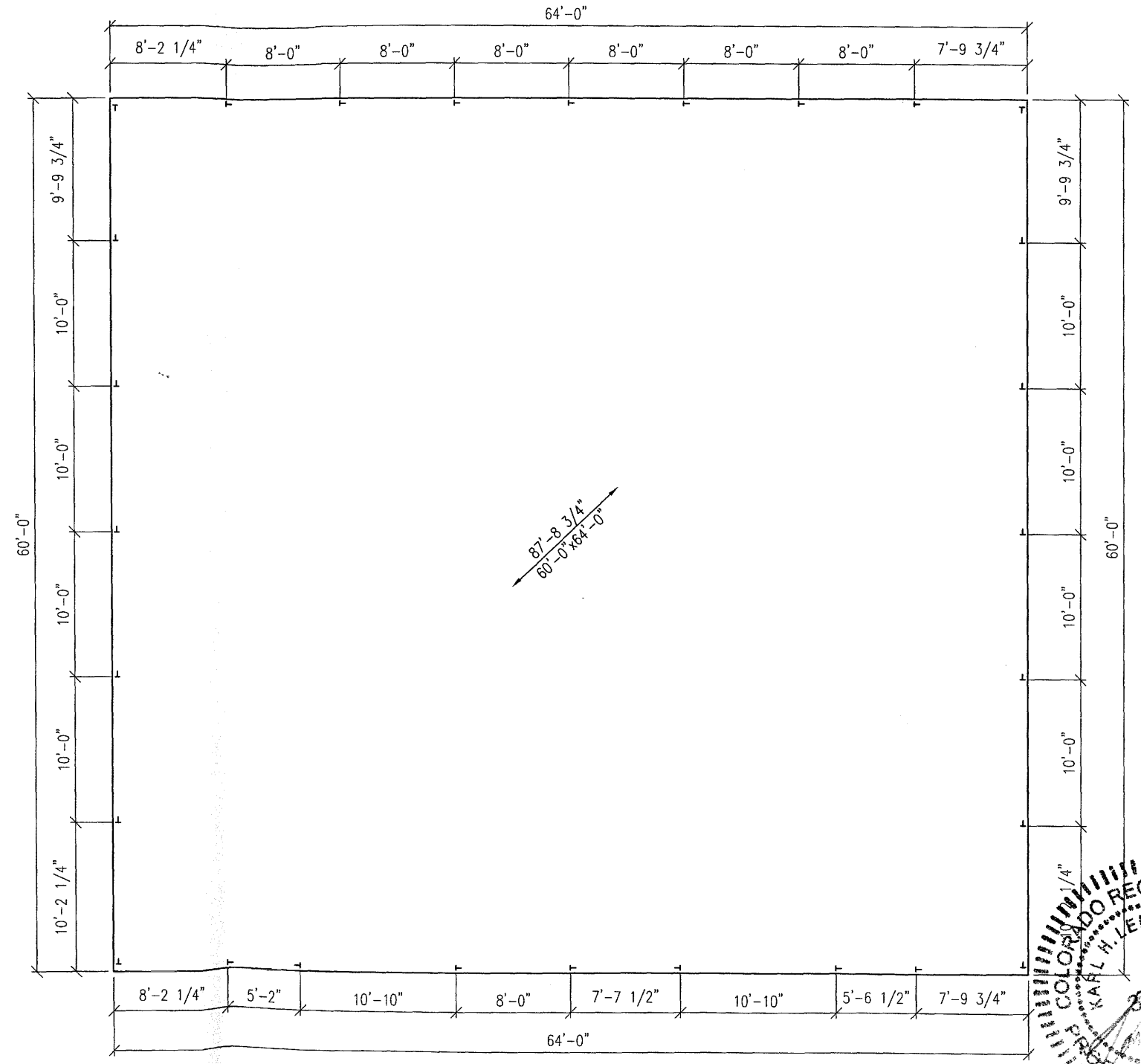
↓ MAXIMUM DEAD & SNOW LOAD = 5839 lbs
↑ TYPICAL UPLIFT LOAD = 1298 lbs
← MAXIMUM LATERAL LOAD = 487 lbs



CONCRETE CONNECTION DETAILS



STANDARD 79-101 CONCRETE BRACKET DETAIL



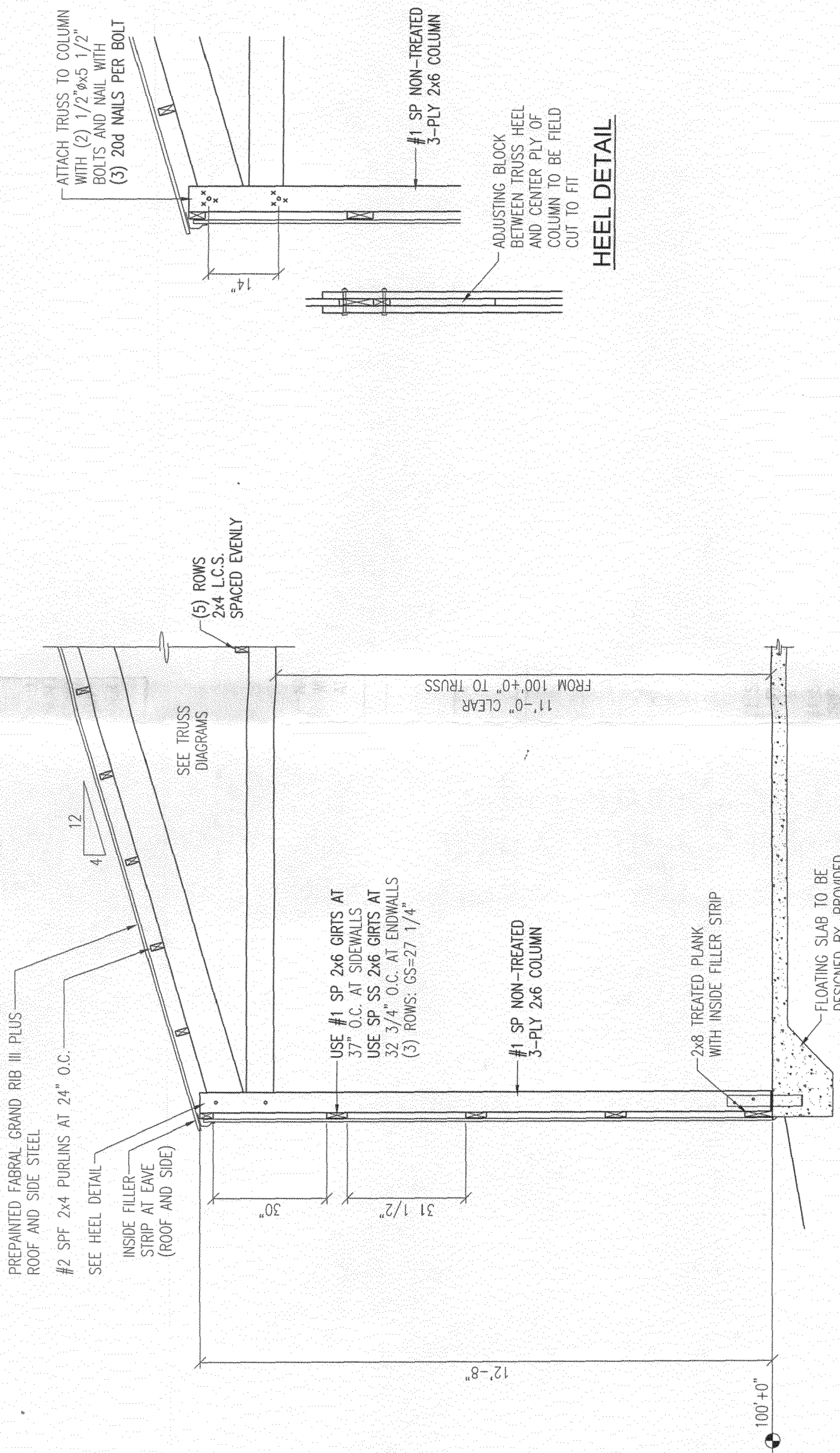
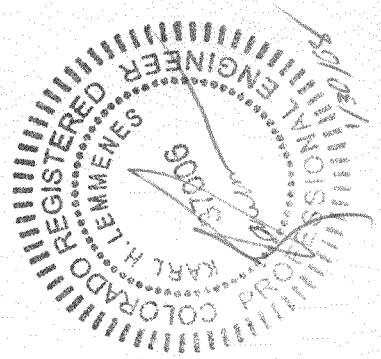
PROFESSIONAL ENGINEER
KARL H. LEMMENS
37006
113012

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60'x64'x12'-8" COMMERCIAL
GENE HUNT

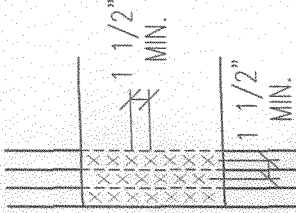
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 BUILDING CO
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 190 PAOLI STR
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 VERONA, WI 53
 (800) 373-55

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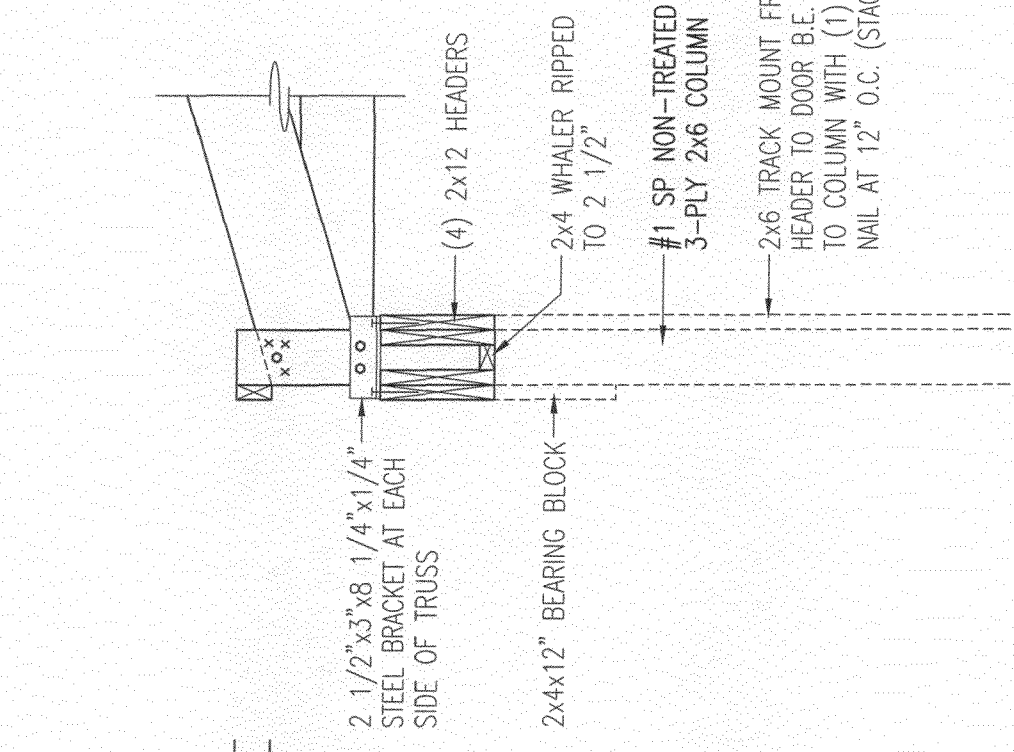
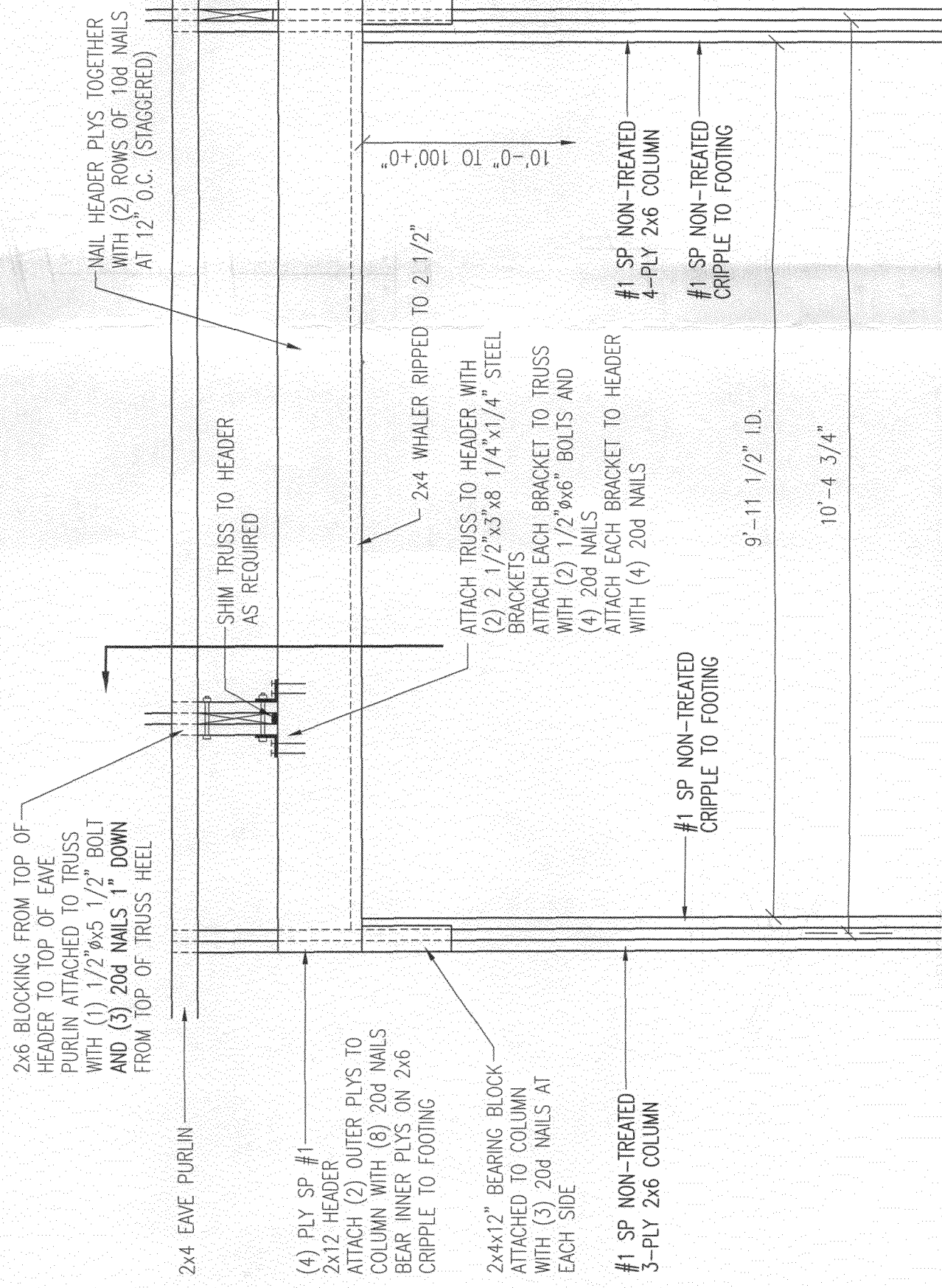


HEEL DETAIL

NOTE-NAILING ALTERNATIVE:
 INSTALL (2) 3 1/2" x .131RS GUN
 NAILS FOR EACH 20d NAIL SPECIFIED
 (USE 20d NAILS IF NUMBER OF GUN
 NAILS REQUIRED REDUCES THE SPACING
 IN A VERTICAL OR HORIZONTAL ROW
 TO LESS THAN 1 1/2" AT A HEADER
 POST OR COLUMN AS SHOWN)

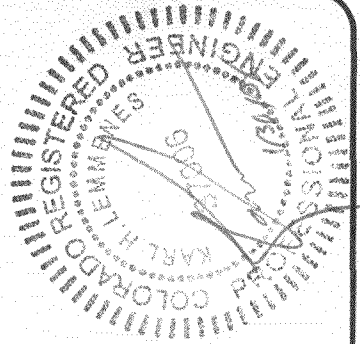


2x6 BLOCKING FROM TOP OF
 HEADER TO TOP OF EAVE
 PURLIN ATTACHED TO TRUSS
 WITH (1) 1/2" ϕ x 5 1/2" BOLT
 AND (3) 20d NAILS 1" DOWN
 FROM TOP OF TRUSS HEEL



SECTION

10'x10' OVERHEAD DOOR HEADER DETAIL
 VIEW FROM OUTSIDE OF BUILDING



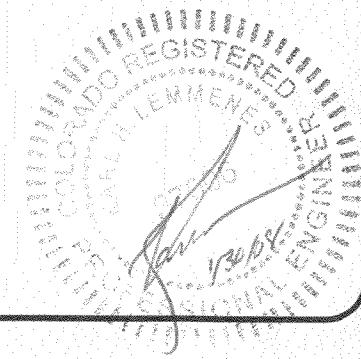
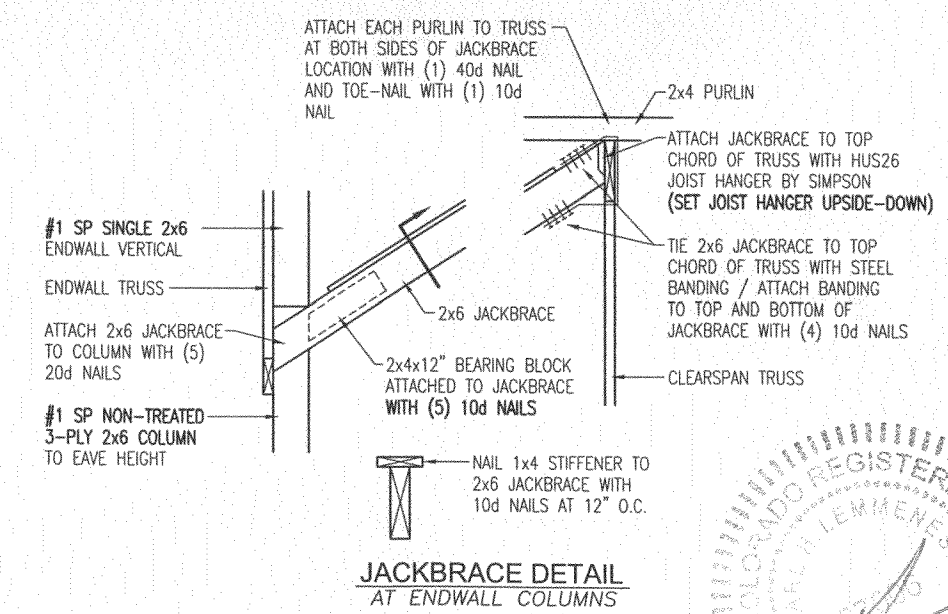
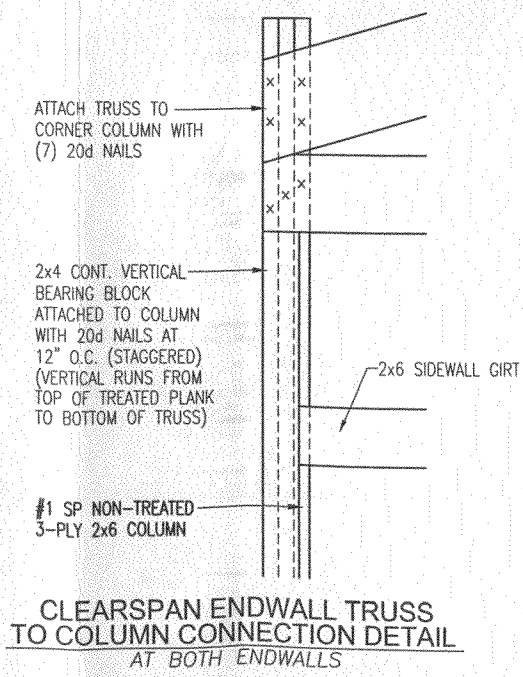
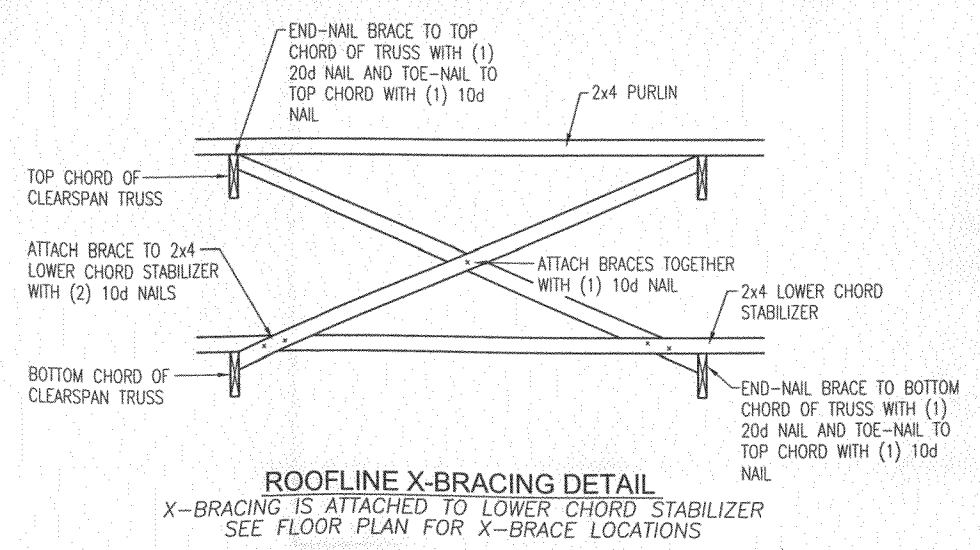
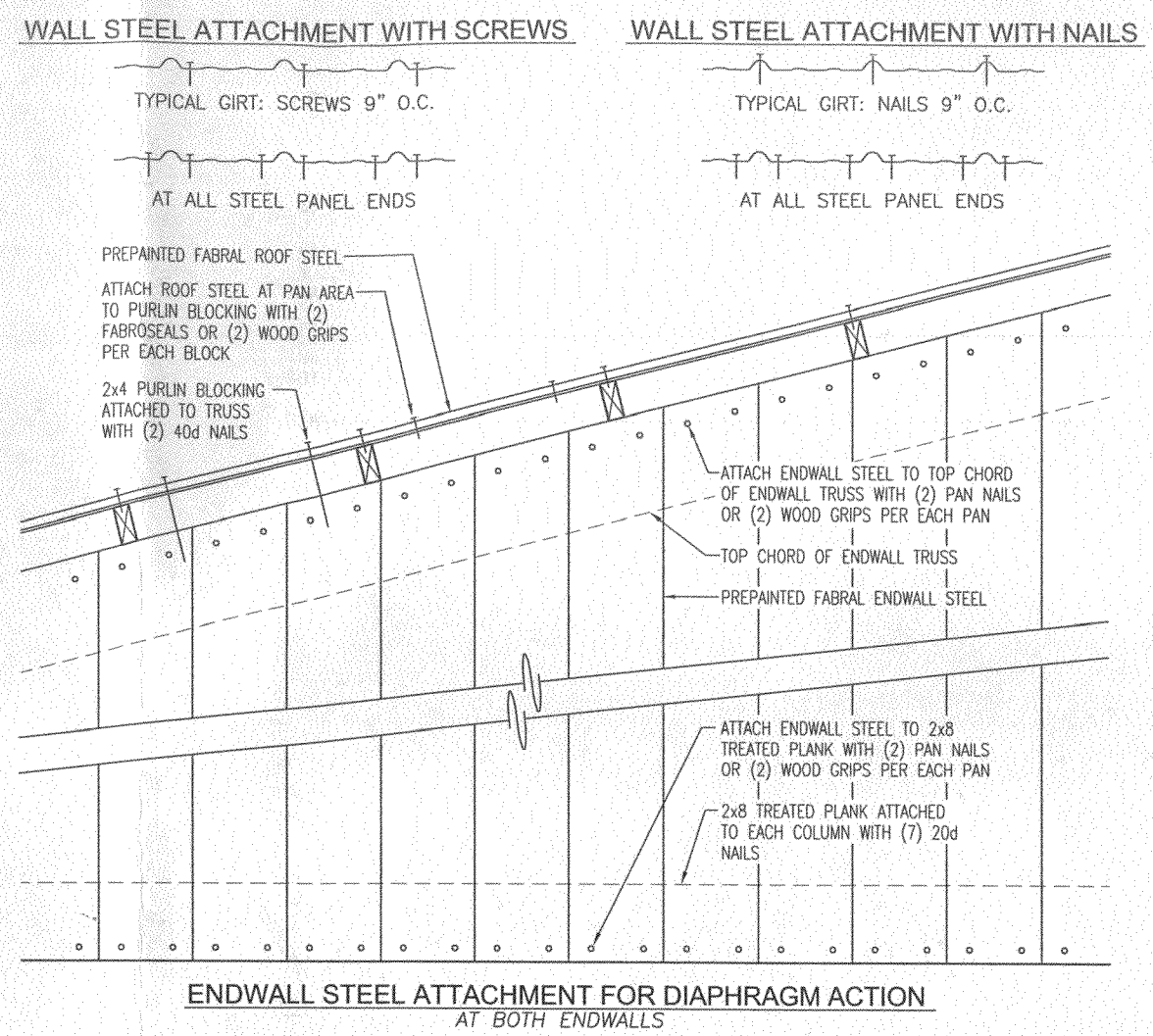
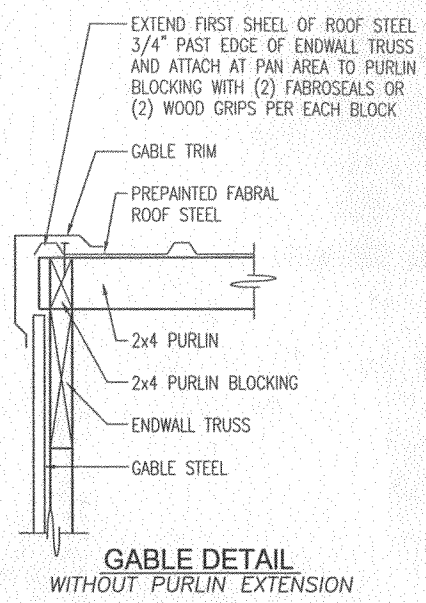
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SCALE:	NONE
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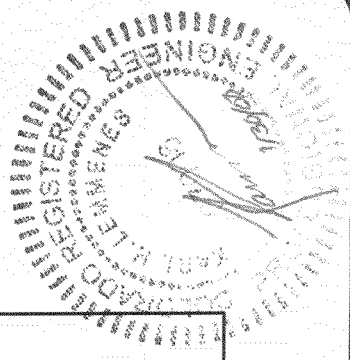
GENE HUNT
 COMMERCIAL

CLEA
 BUILDING
 www.clea.net
 190 PAOL
 P.O. BOX
 VERONA, 1
 (800) 37

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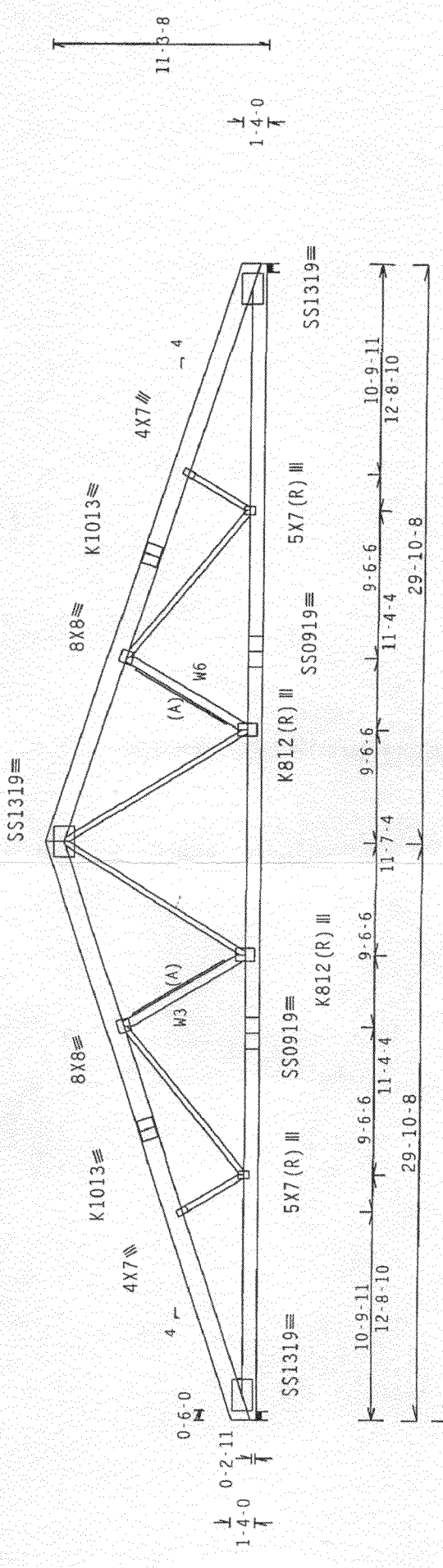
THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(IBC2006 - 60 SLCDH8 30-4-5-4 IBC 4.3/14.5 + 19.2 @ 8.6)
 Top chord 2x12 SP 2250F 1.9E
 Bot chord 2x10 SP 2250F 1.9E
 Webs 2x4 SP #2 :W3, W6 2x6 SP #1:
 :Lt Wedge 2x4 SP #2 : :Rt Wedge 2x4 SP #2:

SPECIAL LOADS
 (LUMBER DUR.FAC.=1.15 / PLATE DUR.FAC.=1.15)
 TC - From 67 PLF at 0.00 to 67 PLF at 15.18
 TC - From 67 PLF at 15.18 to 67 PLF at 29.88
 TC - From 303 PLF at 29.88 to 303 PLF at 38.47
 TC - From 149 PLF at 38.47 to 149 PLF at 44.87
 TC - From 149 PLF at 44.87 to 149 PLF at 59.75
 BC - From 40 PLF at 0.00 to 40 PLF at 16.00
 BC - From 40 PLF at 16.00 to 40 PLF at 32.00
 BC - From 40 PLF at 32.00 to 40 PLF at 43.75
 BC - From 40 PLF at 43.75 to 40 PLF at 59.75

Trusses to be spaced at 96.0" OC maximum.
 IN LIEU OF RIGID SHEATHING USE PURLINS TO BRACE TC @ 24" OC.

(A) T-BRACE MUST BE A CONTINUOUS 1X4 LUMBER SAME SPECIES & GRADE OF WEB OR BETTER, EXTENDING TO WITHIN 8 INCHES OF EACH END OF THE WEB AND FASTENED WITH 10d BOX OR GUN NAILS (0.113"x3.0") 6 INCHES ON CENTER. CAN REPLACE T-BRACE WITH L-BRACE OF SAME LUMBER AND GRADE. ATTACHMENT REMAINS THE SAME.
 SEE CLEARLY BUILDING CORP. DRAWINGS FOR BEARING ATTACHMENT AND BOTTOM CHORD BRACING DETAILS. THIS DESIGN APPLIES TO BOTH OPEN WALL AND ENCLOSED WALL BUILDINGS.
 CAMBER TRUSS 1.25" AT CENTERLINE



http://Ecdrawings.alpeng.com/Third/CBC.nsf/USA/4202D19803B8058B62573CA0061F2F2

PLT TYP. K.18 Gauge HS.WAVE

Design Crit: TPI-2002(STD)
 Cq/RT=1.00(1.25)/10(0) 7.40

	WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. BRACING MUST BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODES, LOCAL ORDINANCES, AND ALL APPLICABLE NORTH AMERICAN DESIGN STANDARDS. ALL TRUSS FABRICATORS MUST BE MEMBERS OF THE NATIONAL TRUSS AND BRACING INSTITUTE, 218 EAST WASHINGTON, SUITE 200, ALLIANCE, VA. 22109, AND BECK TROOD, TRUSS COUNCIL OF AMERICA, 1001 S. GILBERT, SUITE 100, DENVER, CO. 80202, OR OTHERS. TRUSSES MUST BE PROPERLY ATTACHED TO STRUCTURAL MEMBERS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. ***IMPORTANT*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITEM BUILDING COMPONENTS GROUPING SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS GROUPING AS SHOWN OR TO BRACE OR BRACING SHALL BE THE RESPONSIBILITY OF THE INSTALLER. THE INSTALLER SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL TRUSS FABRICATORS AND INSTALLERS ARE LICENSED AND QUALIFIED TO FABRICATE AND INSTALL TRUSSES. ALL TRUSS FABRICATORS MUST HAVE A PROFESSIONAL ENGINEER SIGN OFF ON EACH TRUSS. ALL TRUSS FABRICATORS MUST HAVE A PROFESSIONAL ENGINEER SIGN OFF ON EACH TRUSS. ALL TRUSS FABRICATORS MUST HAVE A PROFESSIONAL ENGINEER SIGN OFF ON EACH TRUSS. DESIGN CONTRACT PLATES ARE MADE OF 2017A1664 (A1664) ASTM A572 GR50 40960 BY ALPINE TRUSS FABRICATORS. ALL TRUSS FABRICATORS MUST HAVE A PROFESSIONAL ENGINEER SIGN OFF ON EACH TRUSS. ALL TRUSS FABRICATORS MUST HAVE A PROFESSIONAL ENGINEER SIGN OFF ON EACH TRUSS. PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER BRANIFFS 1604-7. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEK A3 OF TPI-2002 SEC. 3. A SEAL ON THIS TRUSS GROUPING IS NOT REQUIRED. THE ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY FOR THE TRUSS COMPONENT GROUPING SHALL BE THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER SIGNING THIS DESIGN AND THE TRUSS FABRICATOR. THE ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANS/1111-1-2.	
	PLT TYP. K.18 Gauge HS.WAVE	Design Crit: TPI-2002(STD) Cq/RT=1.00(1.25)/10(0) 7.40
REF R7054- 62748		
DATE 01/08/08		
DRW MOUSR7054 0800B006		
MO-ENG DJR/FK		
REV		
FROM ALV		
JREF- 1TDZ7054Z03		
TC LL 30.0 PSF	CO / - / 1 / - / - / R / F	SPACING 96.0"
TC DL 4.0 PSF	DUR.FAC. 1.15	FROM ALV
BC DL 5.0 PSF	TOT.LD. 39.0 PSF	JREF- 1TDZ7054Z03
BC LL 0.0 PSF	DUR.FAC. 1.15	FROM ALV

