

FEE \$	10
TCP \$	1509
SIF \$	400

PLANNING CLEARANCE
 (Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO. _____

Building Address 589 Sinatra way
 Parcel No. 2943-071-63-005
 Subdivision Legends East
 Filing 2 Block 2 Lot 5

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 1611
 Sq. Ft. of Lot / Parcel 6131.6 SQ FT.
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface
 (Total Existing & Proposed) 2621 ~~587~~ SQ FT. 472
 Height of Proposed Structure 171

OWNER INFORMATION:

Name Legends Partners
 Address P.O. Box 1765
 City / State / Zip Grand Junction, CO 81502

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Legend Partners
 Address P.O. Box 1765
 City / State / Zip Grand Junction, CO 81502
 Telephone 970-234-5682

***TYPE OF HOME PROPOSED:**

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>R-8</u>	Maximum coverage of lot by structures <u>70%</u>
SETBACKS: Front <u>20</u> from property line (PL)	Permanent Foundation Required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
Side <u>5</u> from PL Rear <u>10</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>Engineered Foundation required</u>
Voting District <u>D</u> Driveway Location Approval <u>PH</u> (Engineer's Initials)	

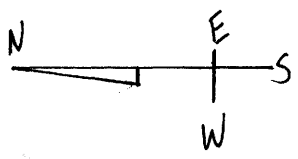
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

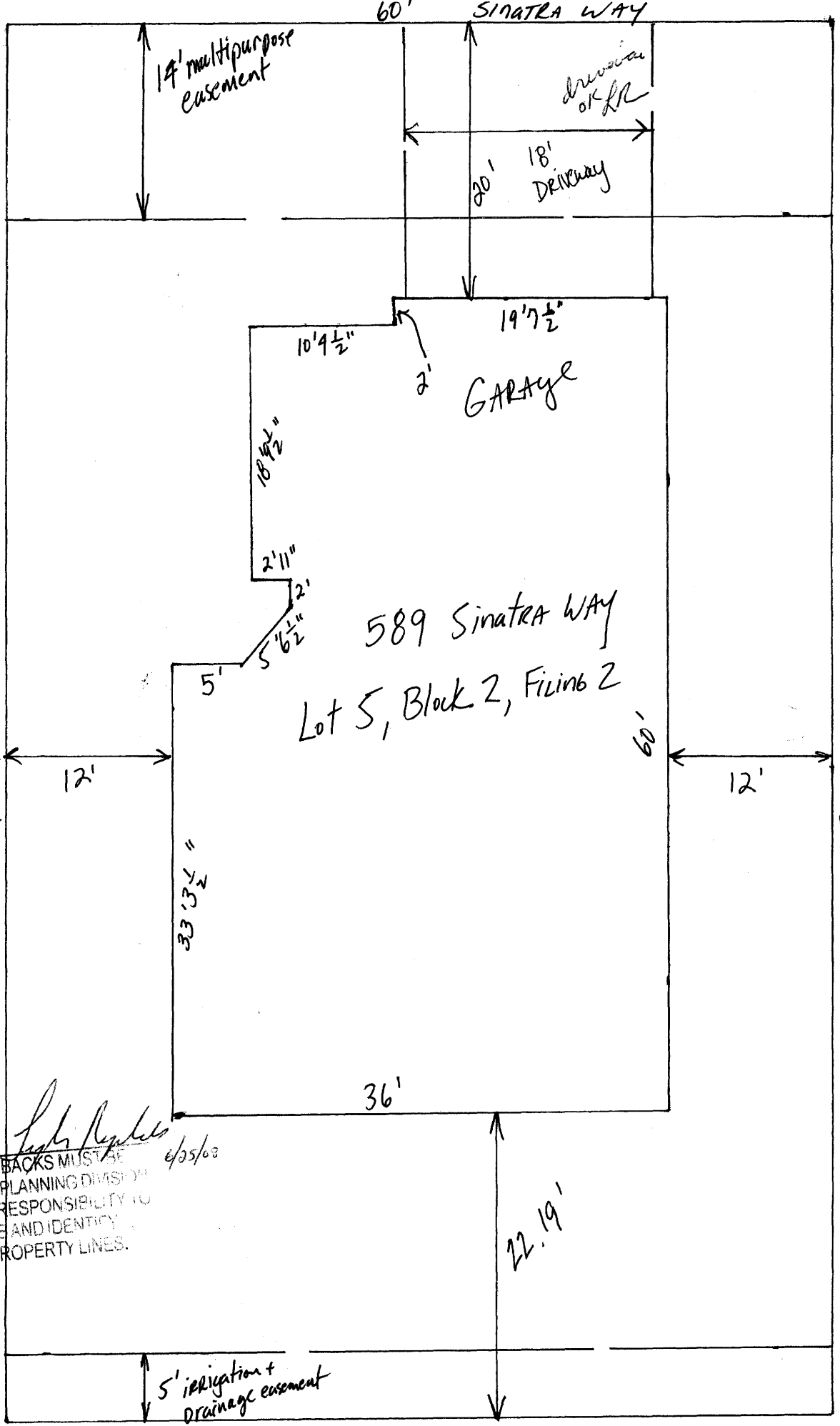
Applicant Signature [Signature] Date 6-23-08
 Department Approval PH Lydia Reynolds Date 6/25/08

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	W/O No. <u>21102</u>
Utility Accounting <u>[Signature]</u>	Date <u>6/25/08</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



Scale: 1" = 10'



589 Sinatra Way
Lot 5, Block 2, Filing 2

GARAGE

division
of RR

20' 18'
DRIVEWAY

14' multipurpose
easement

5' irrigation +
drainage easement

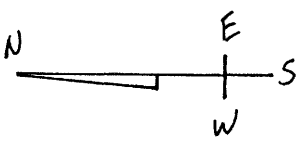
ACCEPTED *PH* *John P. [unclear]* 4/25/03
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING DIVISION
 IT IS THE APPLICANT'S RESPONSIBILITY TO
 PROPERLY LOCATE AND IDENTIFY
 EASEMENTS AND PROPERTY LINES.

60'

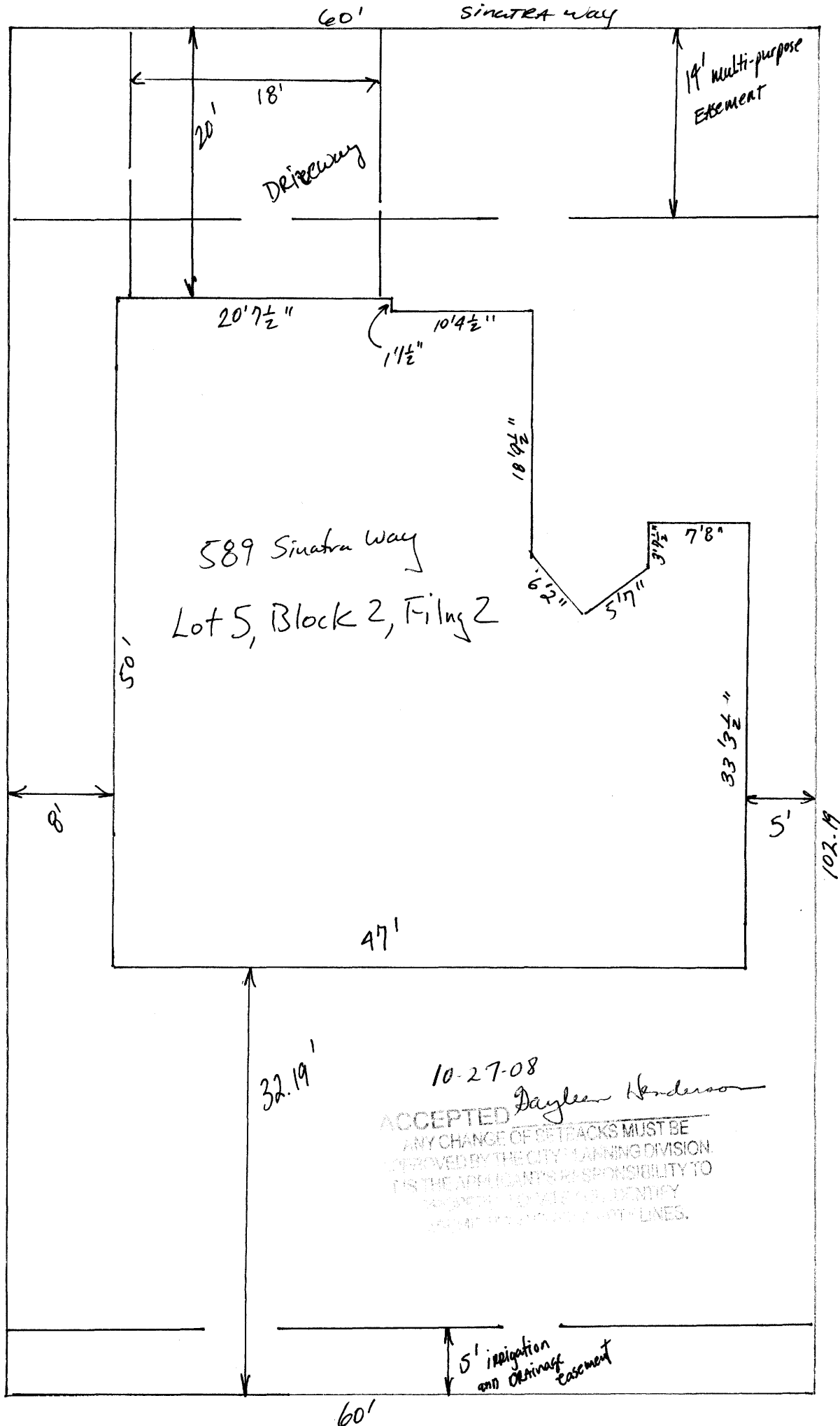
22.19'

102.19

102.19



Scale: 1" = 10'



589 Sinatra Way
Lot 5, Block 2, Filing 2

10-27-08
 ACCEPTED *Dayleen Henderson*
 ANY CHANGE OF DE TRACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. IT IS THE APPLICANT'S RESPONSIBILITY TO CORRECTLY LOCATE UTILITIES AND SET BACKS TO ALL UTILITIES.

60'

5' irrigation and drainage easement

32.19'

102.19'

102.19'

14' Multi-purpose Easement

Driveway

SINATRA way

60'

50'

47'

8'

5'

33'3 1/2"

18' 1/2"

10' 4 1/2"

1' 1 1/2"

20' 7 1/2"

7'8"

3'2"

5'7"

6'2"