

FEE \$	10 <sup>00</sup>
TCP \$	2554 <sup>00</sup>
SIF \$	460 <sup>00</sup>

**PLANNING CLEARANCE**  
 (Single Family Residential and Accessory Structures)  
**Community Development Department**

BLDG PERMIT NO. \_\_\_\_\_

*Life Station #1104.00*

Building Address 180 Skyline Ridge Ct  
 Parcel No. 2945-351-45-046  
 Subdivision Spyglass Ridge  
 Filing 2 Block \_\_\_\_\_ Lot 159

No. of Existing Bldgs 0 No. Proposed 1  
 Sq. Ft. of Existing Bldgs N/A Sq. Ft. Proposed 2241  
 Sq. Ft. of Lot / Parcel 11667  
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface  
 (Total Existing & Proposed) 4305  
 Height of Proposed Structure 23'9"

**OWNER INFORMATION:**

Name Jennifer Strong  
 Address 2912 Sunridge Rd  
 City / State / Zip 65 CO

**DESCRIPTION OF WORK & INTENDED USE:**

New Single Family Home (\*check type below)  
 Interior Remodel  Addition  
 Other (please specify): \_\_\_\_\_

**APPLICANT INFORMATION:**

Name Security Homes LLC  
 Address 937 Kayenta Way  
 City / State / Zip Fruita CO 81521  
 Telephone 250-2243

**\*TYPE OF HOME PROPOSED:**

Site Built  Manufactured Home (UBC)  
 Manufactured Home (HUD)  
 Other (please specify): \_\_\_\_\_

**NOTES:**

*Accollette  
 Single story house only required  
 Engineered foundation required  
 Grading & drainage plan required  
 Grading/Drainage OK 267 11/5/08*

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

**THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF**

ZONE <u>RSF-2 / Cluster (standards) <sup>R-8</sup></u>	Maximum coverage of lot by structures <u>70%</u>
SETBACKS: Front <u>20'</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>5'</u> from PL Rear <u>10'</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35' 24"</u>	Special Conditions _____
Voting District <u>E</u> Driveway Location Approval <u>PO</u> (Engineer's Initials)	

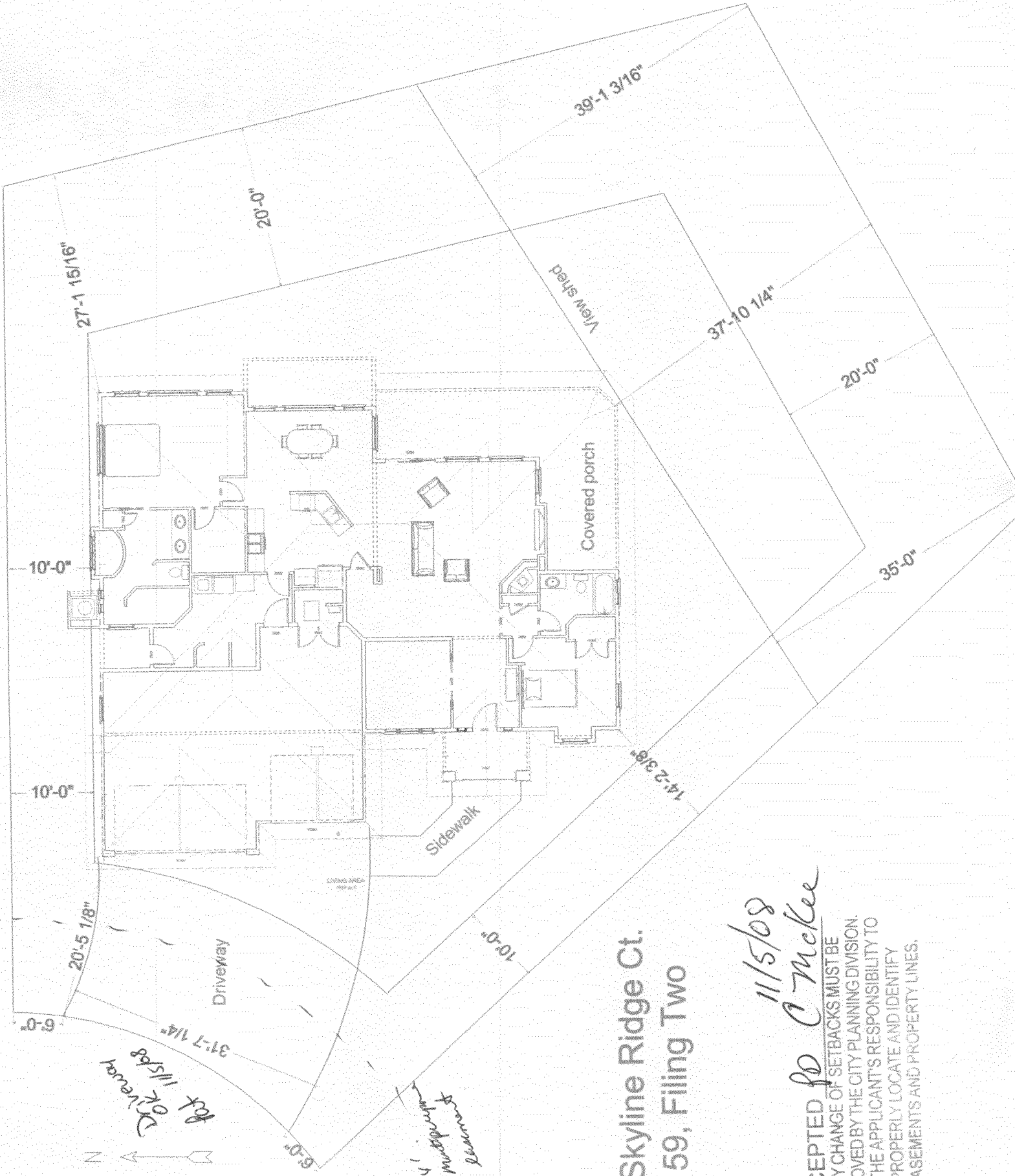
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 10/23/08  
 Department Approval PO C. Miller Date 11/5/08

Additional water and/or sewer tap fee(s) are required: YES <u>X</u> NO _____	W/O No. <u>PO OMSD</u>
Utility Accounting <u>[Signature]</u>	Date <u>11/05/08</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



180 Skyline Ridge Ct.  
 Lot 159, Filing Two

11/5/08  
 Accepted for C. McKee

ACCEPTED FOR C. MCKEE  
 ANY CHANGE OF SETBACKS MUST BE  
 APPROVED BY THE CITY PLANNING DIVISION.  
 IT IS THE APPLICANT'S RESPONSIBILITY TO  
 PROPERLY LOCATE AND IDENTIFY  
 EASEMENTS AND PROPERTY LINES.

Dimensions and labels on the plan:

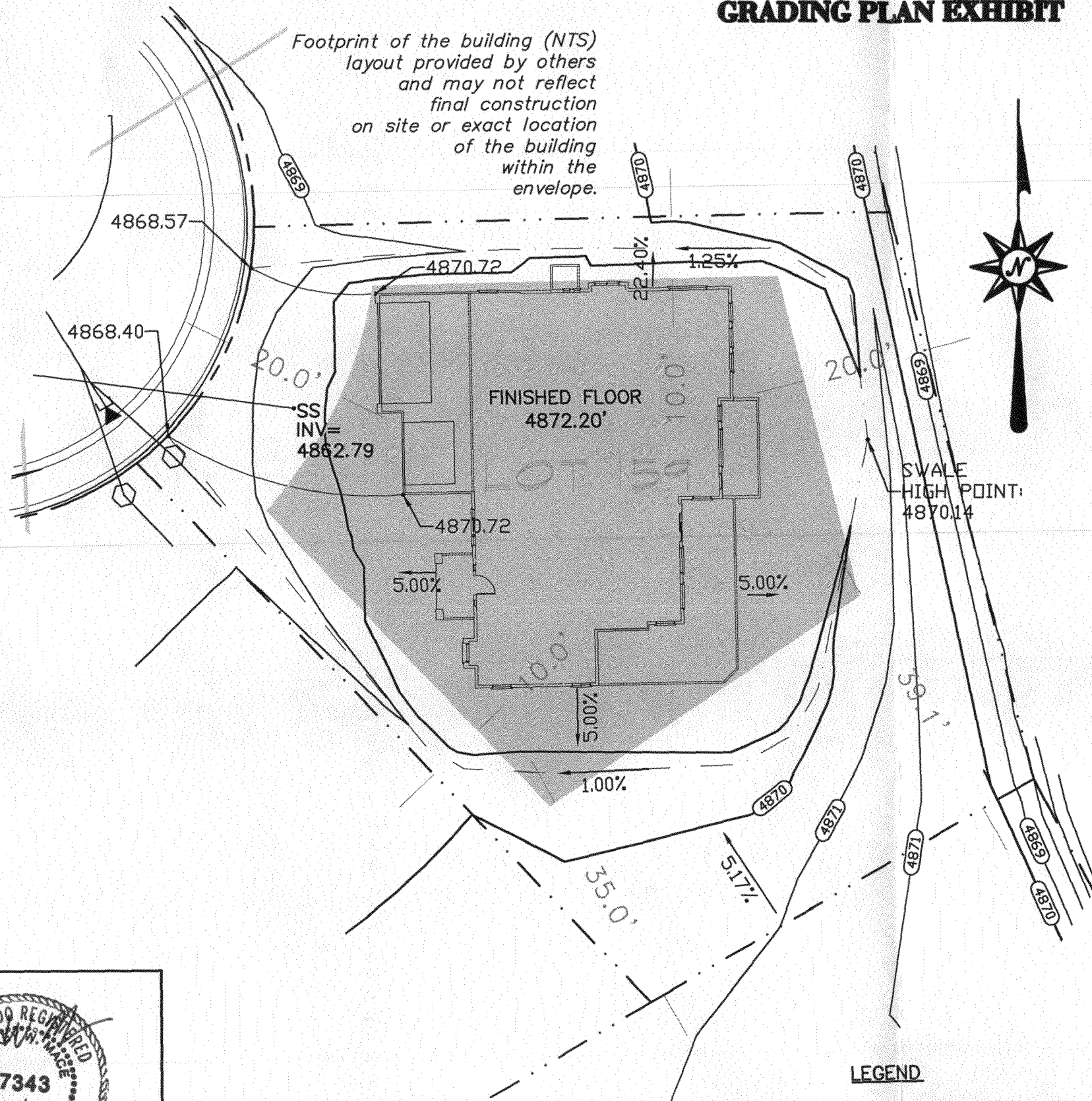
- Top boundary: 39'-1 3/16"
- Left boundary: 27'-1 15/16"
- Right boundary: 37'-10 1/4"
- Bottom boundary: 35'-0"
- Internal horizontal dimensions: 10'-0", 10'-0", 10'-0"
- Internal vertical dimensions: 20'-0", 14'-2 3/8", 10'-0"
- Diagonal dimensions: 20'-5 1/8", 31'-7 1/4", 6'-0"
- Labels: View shed, Covered porch, Sidewalk, Driveway, Living Area, Dining Area, Kitchen, Bedrooms, Bathrooms, North Arrow.

*14' driveway*

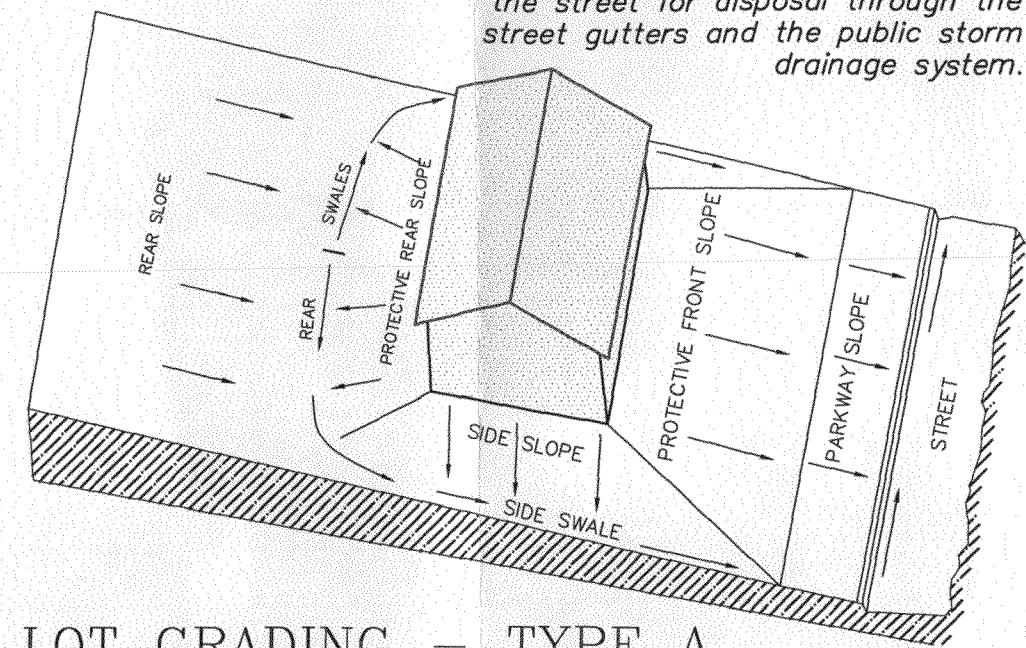
# LOT 159 FILING No. TWO SPYGLASS RIDGE

## GRADING PLAN EXHIBIT

In this lot grading type, rear swales behind the house carry surface water from the rear yard to the sideyard swales which carry it to the street for disposal through the street gutters and the public storm drainage system.



Footprint of the building (NTS) layout provided by others and may not reflect final construction on site or exact location of the building within the envelope.



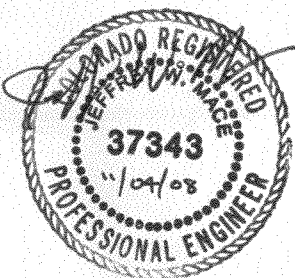
**LOT GRADING — TYPE A  
ALL DRAINAGE TO STREET**

### GENERAL GRADING NOTES

1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
2. Contractor shall give 48 hours notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations PRIOR to commencement of work. Contractor shall assure himself that all construction permits have been obtained prior to commencement of work. All required permits shall be obtained at the Contractor's expense.
3. Individual lots shall be laid out so as to provide positive drainage away from all buildings and shall be coordinated with the general storm drainage pattern for the area.
4. All lots must be graded to meet the elevation of adjoining property to provide good access and to minimize the use of retaining walls.
5. Drainage shall avoid concentration of storm drainage water from each lot to adjacent lots and no person may divert or impound the natural flow of surface waters, in a manner that damages the property of another by the overflow of the water diverted or impounded.
6. Lot grading and drainage shall be in accordance with all applicable building codes, rules, and regulations, as well as the geotechnical engineers recommendations.
7. Existing grades at boundary were assumed to be consistent with the proposed grading from the subdivision plan. variations in boundary conditions should be brought to the attention of the engineer to determine if revisions are necessary.

### LEGEND

- PROPOSED SWALE
- - - - - EXISTING LOT LINES



REVISONS	NO.	DATE	DESCRIPTION

<p><b>RIVER CITY</b> CONSULTANTS</p> <p>744 Horizon Court, Suite 110 Grand Junction, Co. 81506 Phone: 970.241.4722 Fax: 970.241.8641</p>	<p>SECURITY HOMES</p> <p>SPYGLASS RIDGE</p> <p>LOT 159</p> <p>GRADING PLAN</p> <p>PROJECT #1086-001</p> <p>DATE ISSUED: 10/07/08</p> <p>CHECKED BY: JWM</p> <p>SCALE: 1" = 10'</p> <p>SHEET NO. OF SHEETS: N/A</p>
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