

FEE \$	10
TCP \$	1589
SIF \$	400

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. JK

Building Address 2863 Sophia Way
 Parcel No. 2943-071-62-006
 Subdivision Legenos East
 Filing 2 Block 1 Lot 6

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 1485 Finished 1275 unfinished
 Sq. Ft. of Lot / Parcel 7216-3 SQ FT
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 2685 SQ. FT.
 Height of Proposed Structure 25'

OWNER INFORMATION:

Name Legend Partners
 Address P.O. Box 1765
 City / State / Zip GRAND Junction, CO 81502

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name Legend Partners
 Address P.O. Box 1765
 City / State / Zip GRAND Junction, CO 81502
 Telephone 970-244-9986 #17

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

PAID

TB

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE <u>R-8</u>	Maximum coverage of lot by structures <u>70%</u>
SETBACKS: Front <u>36</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____
Side <u>5</u> from PL Rear <u>16</u> from PL	Parking Requirement <u>2</u>
Maximum Height of Structure(s) <u>35</u>	Special Conditions <u>Engineered Foundation</u>
Voting District <u>D</u> Driveway Location Approval <u>JPK per Kent</u> <u>required</u> (Engineer's Initials)	

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

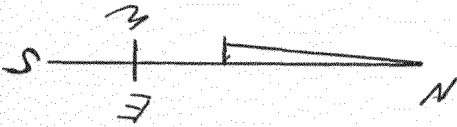
Applicant Signature [Signature] Date 6-16-08

Department Approval PH Pat Dunlap Date 6/17/08

Additional water and/or sewer tap fee(s) are required: YES X NO _____ W/O No. 21095

Utility Accounting [Signature] Date 6/20/08

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

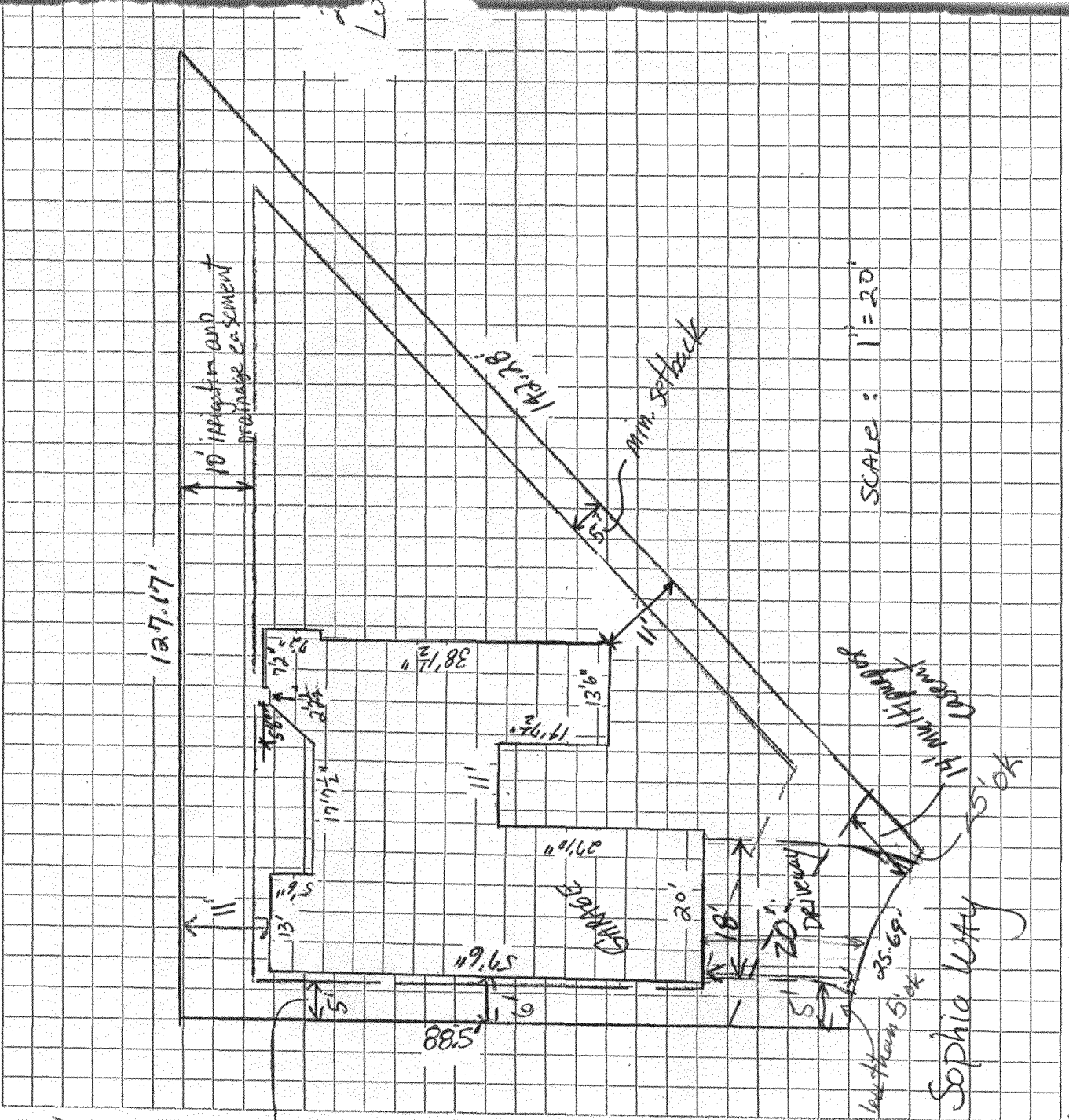


2863 Sophia Wy
 Lot 6, Block 1
 Filina 2

MIN. setback

ACCEPTED P14 Lot Develop 6/17/08

ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.



Drive OK
 JAT per Kent H.

SCALE: 1" = 20'