

Planning \$	10.00
TCP \$	
Drainage \$	
SIF\$	

**PLANNING CLEARANCE**  
(Multifamily & Nonresidential Remodels and Change of Use)  
**Public Works and Planning Department**

BLDG PERMIT NO.	
FILE #	

Building Address 595 NORTH WESTGATE  
Parcel No. 2945-102-12-005  
Subdivision WESTGATE PARK #2  
Filing \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Multifamily Only:  
No. of Existing Units \_\_\_\_\_ No. Proposed \_\_\_\_\_  
Sq. Ft. of Existing \_\_\_\_\_ Sq. Ft. Proposed \_\_\_\_\_  
Sq. Ft. of Lot / Parcel \_\_\_\_\_  
Sq. Ft. Coverage of Lot by Structures & Impervious Surface  
(Total Existing & Proposed) \_\_\_\_\_

**OWNER INFORMATION:**

Name INTERMOUNTAIN ELECTRONICS  
Address 595 NORTH WESTGATE  
City / State / Zip GJ C 81505

DESCRIPTION OF WORK & INTENDED USE:  
 Remodel       Change of Use (\*Specify uses below)  
 Addition       Change of Business  
 Other: EXTENSION

**APPLICANT INFORMATION:**

Name PNCE CONSTRUCTION INC  
Address 553 25 1/2 RD.  
City / State / Zip GJ C 81505  
Telephone 242 3548

\* FOR CHANGE OF USE:  
\*Existing Use: OFFICE  
\*Proposed Use: OFFICE  
Estimated Remodeling Cost \$ 43,000.  
Current Fair Market Value of Structure \$ 174,650

**REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.**

THIS SECTION TO BE COMPLETED BY PLANNING STAFF	
ZONE <u>C-1</u>	Maximum coverage of lot by structures _____
SETBACKS: Front _____ from property line (PL)	Landscaping/Screening Required: YES NO
Side _____ from PL      Rear _____ from PL	Parking Requirement <u>PAID</u>
Maximum Height of Structure(s) _____	Special Conditions: _____
Voting District _____	Ingress / Egress Location Approval _____ <u>FB</u>
	(Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Public Works and Planning Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

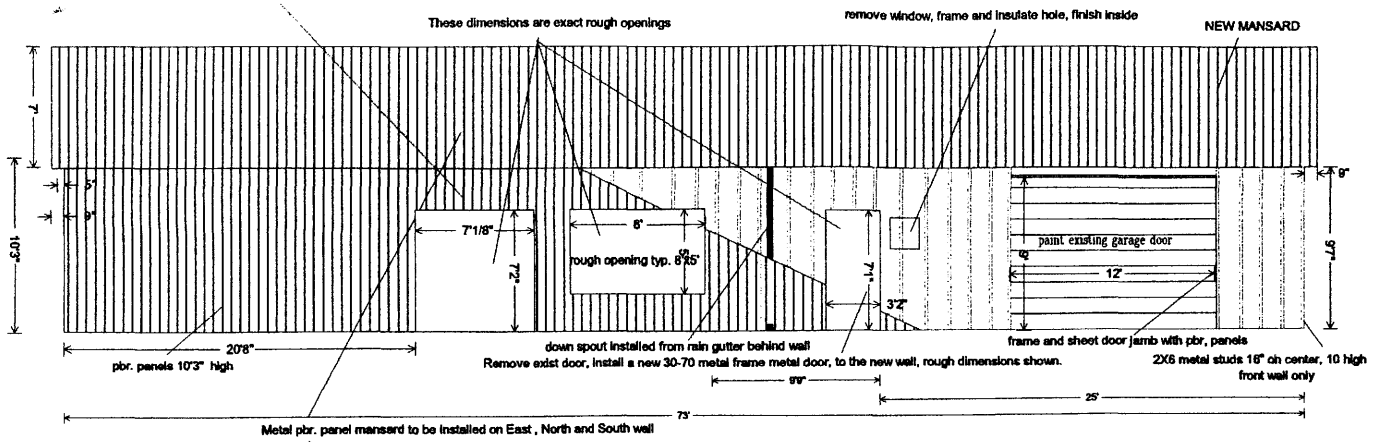
Applicant Signature Frank P. D. Santa      Date JUNE 12, 2008  
Planning Approval Lynnie Reynolds      Date June 12, 2008

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/O No.
Utility Accounting <u>C. Benseley</u>	Date <u>6/12/08</u>		

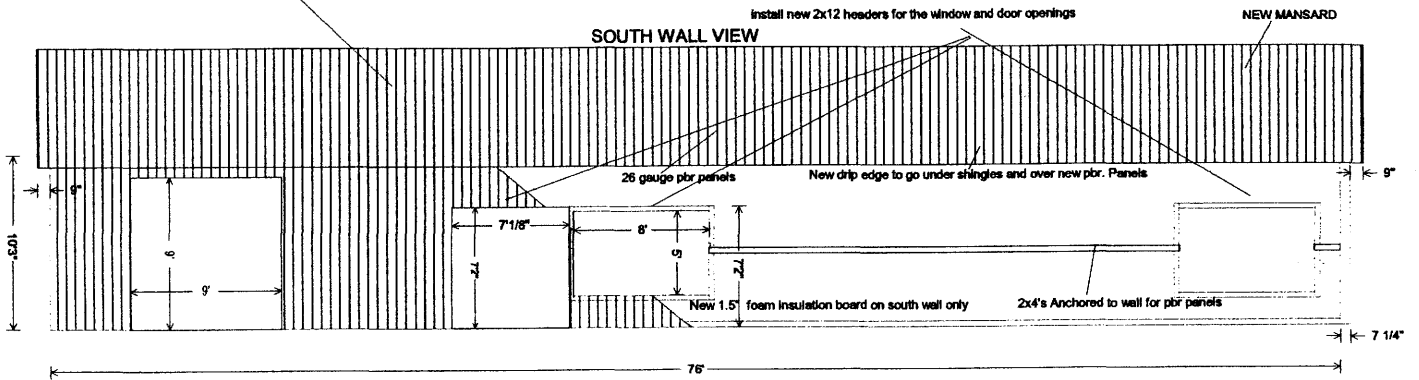
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)  
(White: Planning)      (Yellow: Customer)      (Pink: Building Department)      (Goldenrod: Utility Accounting)

Install new 2x12 header for the window and door openings

### FRONT VIEW



### SOUTH WALL VIEW



INTERMOUNTAIN ELECTRONICS

Project ADDRESS: 595 NORTH WESTGATE

CONTRACTOR: PNCI CONSTRUCTION INC.

553 25 1/2 Rd.

GRAND JUNCTION CO. 81505

242-3548

CONTACT: FRANK DE SANTIS

216-6240