

FEE \$	10 ⁰⁰
TCP \$	1589 ⁰⁰
SIF \$	460 ⁰⁰

PLANNING CLEARANCE

BLDG PERMIT NO. _____

(Single Family Residential and Accessory Structures)
Community Development Department

* LIFT STATION FEE #1,104.00

Building Address 204 Whisper Lane No. of Existing Bldgs 0 No. Proposed 1
 Parcel No. 2945-204-41100 | 48-013 Sq. Ft. of Existing Bldgs N/A Sq. Ft. Proposed 2101
 Subdivision Secret Canyon @ Spyglass Ridge Sq. Ft. of Lot / Parcel 5659
 Filing 3 Block _____ Lot 13
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 2886
 Height of Proposed Structure 25

OWNER INFORMATION:

Name Zeck Homes, Inc.
 Address 1950 Hwy 10450
 City / State / Zip Fruita, CO 81521

DESCRIPTION OF WORK & INTENDED USE:
 New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name Zeck Homes, Inc.
 Address 1950 Hwy 10450
 City / State / Zip Fruita, CO 81521
 Telephone (970) 858-0178

*TYPE OF HOME PROPOSED:
 Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES: Engineered foundation required
Grading + Drainage Plan required

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF			
ZONE <u>R-2 / cluster PD</u>	Maximum coverage of lot by structures <u>30%</u>		
SETBACKS: Front <u>20'</u> from property line (PL)	Permanent Foundation Required: YES <u>X</u> NO _____		
Side <u>15'</u> from PL Rear <u>10'</u> from PL	Parking Requirement <u>2</u>		
Maximum Height of Structure(s) <u>35'</u>	Special Conditions <u>Drainage impacts Lot 12</u> <u>Not Allowed Lot 7 4/2/08 Lot</u> <u>Modification to drainage of</u> <u>Lot 7 4/25/08</u>		
Voting District <u>E</u> Driveway Location Approval <u>PD</u> (Engineer's Initials)			

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 2/18/08
 Department Approval PD [Signature] Date 6/28/08

Additional water and/or sewer tap fee(s) are required: YES <input checked="" type="checkbox"/> NO _____	W/O No. + @ <u>DMSD</u>
Utility Accounting <u>[Signature]</u>	Date <u>7/3/08</u>

Revisions	By	AUC
000008		

Y-2 Western Slope
 204 Whisper Lane
 Secret Canyon at Spy Glass Ridge
 Grand Junction, Colorado

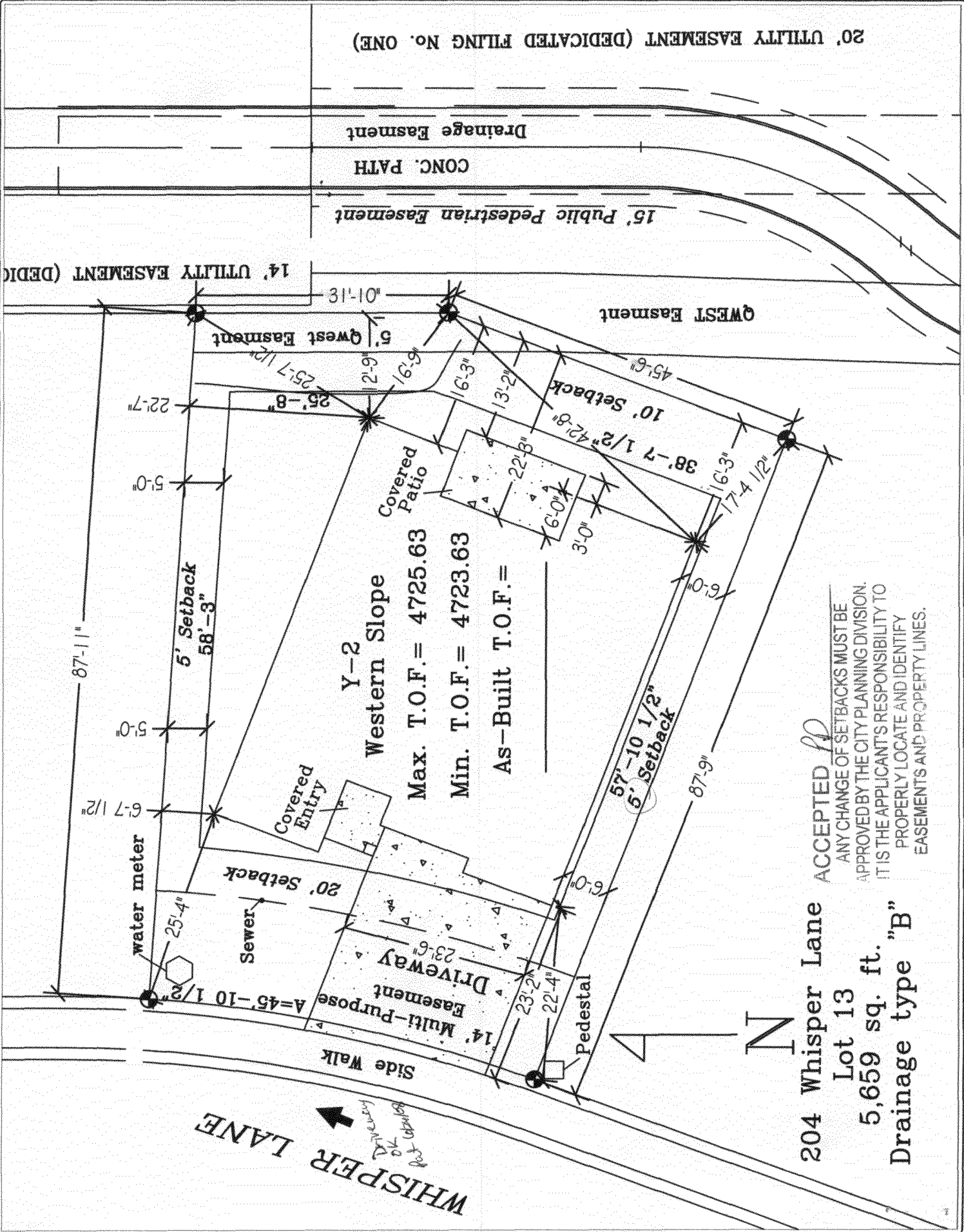


Zeck Homes, Inc.
 1950 Hwy 6450
 Fruita, CO 81521
 970-858-0178



Date	3/4/08
Scale	N2S
Drawn By	AUC
Sheet	

P-P



20' UTILITY EASEMENT (DEDICATED FILING NO. ONE)

Drainage Easement
 CONC. PATH

15' Public Pedestrian Easement

14' UTILITY EASEMENT (DEDICATED FILING NO. ONE)

WEST Easement

Y-2
 Western Slope
 Max. T.O.F. = 4725.63
 Min. T.O.F. = 4723.63
 As-Built T.O.F. =

ACCEPTED *PP*

ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

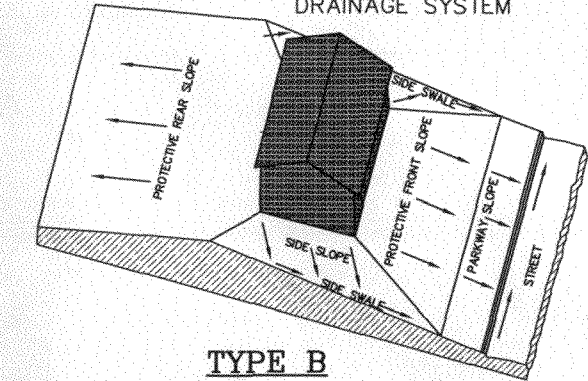
204 Whisper Lane
 Lot 13
 5,659 sq. ft.
 Drainage type "B"

WHISPER LANE
 ←
 Driveway
 Pedestal

SPYGLASS RIDGE FILING NO. 3

LOT 13 - GRADING EXHIBIT

IN THIS LOT GRADING TYPE, REAR SWALES BEHIND THE HOUSE CARRY SURFACE WATER FROM REAR YARD TO THE SIDE YARD SWALES WHICH CARRY IT TO THE STREET FOR DISPOSAL THROUGH THE STREET GUTTERS AND PUBLIC STORM DRAINAGE SYSTEM



TYPE B
DRAINAGE BOTH TO STREET
AND TO REAR LOT LINE

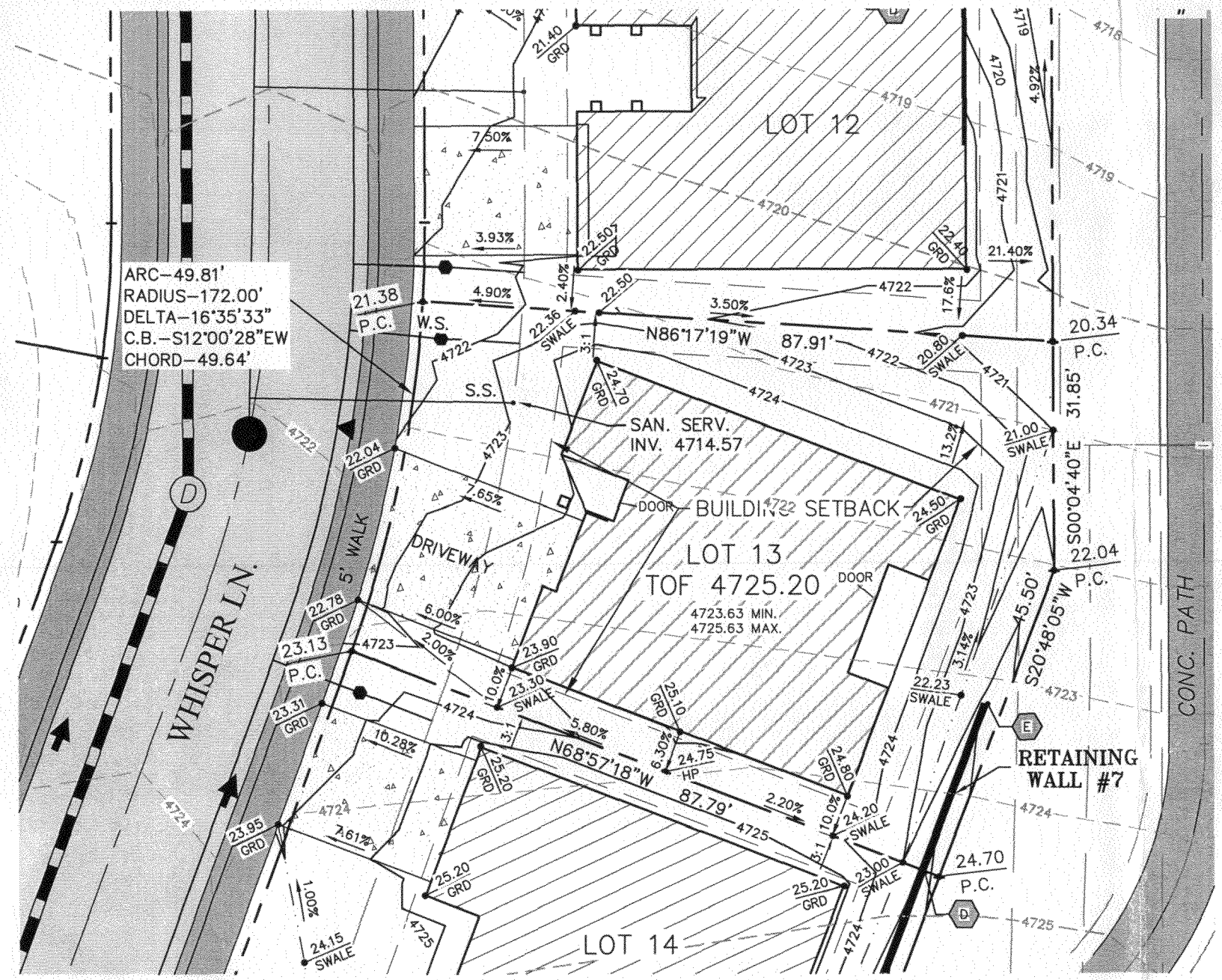
SCALE: 1"=20'

GENERAL GRADING NOTES:

1. LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR IS TO CONTACT AFFECTED UTILITY COMPANY FOR SPECIFIC LOCATIONS BEFORE DIGGING.
2. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED PERMITS SHALL BE OBTAINED AT THE CONTRACTOR'S EXPENSE.
3. INDIVIDUAL LOTS SHALL BE LAID OUT SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND SHALL BE COORDINATED WITH THE GENERAL STORM DRAINAGE PATTERN FOR THE AREA.
4. ALL LOTS MUST BE GRADED TO MEET THE ELEVATION OF ADJOINING PROPERTY TO PROVIDE ADEQUATE ACCESS.
5. DRAINAGE SHALL AVOID CONCENTRATION OF STORM DRAINAGE WATER FROM EACH LOT TO ADJACENT LOTS AND NO PERSON MAY DIVERT OR IMPOUND THE NATURAL FLOW OF SURFACE WATERS, IN A MANNER THAT DAMAGES THE PROPERTY OF ANOTHER BY THE OVERFLOW OF THE WATER DIVERTED OR IMPOUNDED.
6. LOT GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS, AS WELL AS THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

LEGEND:

- 16.50 GRD FINISHED GRADE ELEVATION
- 16.50 SWALE FLOW LINE OF DRAINAGE SWALE
- 16.50 HP HIGH POINT OF DRAINAGE SWALE
- 16.50 P.C. PROPERTY CORNER ELEVATION
- 9.50% SLOPE OF FINISHED GRADE
- T.O.F. TOP OF FOUNDATION/FINISHED FLOOR
- - - 4719 - - - EXISTING CONTOUR
- 4719 — PROPOSED CONTOUR
- W.S. WATER METER/WATER SERVICE
- S.S. SANITARY SEWER SERVICE
- ▬ RETAINING WALL

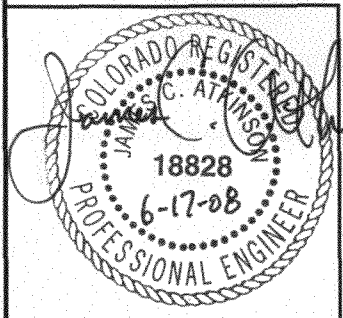


*Revised Grading Plan
OK 6/25/08*

*Copy for the
City of G.J.
New one*

RETAINING WALL #7

POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4729.23	4728.56	8"
B	4728.44	4725.44	36"
C	4726.50	4724.50	24"
D	4725.20	4723.70	18"
E	4723.70	4723.00	8"



NOTE: THIS IS NOT A BOUNDARY SURVEY. FOR GRADING AND DRAINAGE ONLY. REFER TO RECORDED PLAT FOR RECORDED INFORMATION.

NOTE: FOOTPRINT OF BUILDING LAYOUT PROVIDED BY OTHERS AND MAY NOT REFLECT FINAL CONSTRUCTION ON SITE OR EXACT LOCATION OF THE BUILDING WITHIN THE BUILDING ENVELOPE.

JēHN ENGINEERING
326 MAIN STREET
SUITE 204
DELTA, CO. 81416
PH. (970) 874-8599
FAX (970) 874-6118

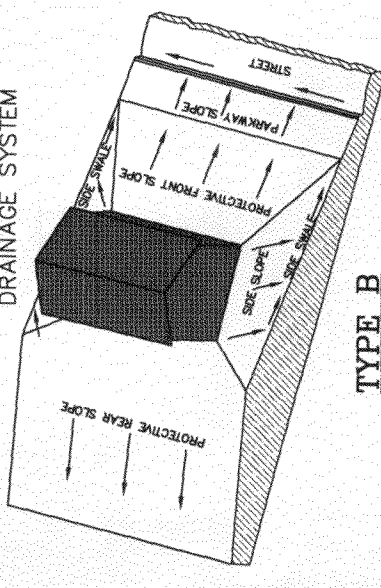


TITLE: LOT 13 GRADING EXHIBIT
CLIENT/PROJECT: ZECK HOMES, INC. / SPYGLASS RIDGE
SCALE: 1" = 20' DATE: 6/17/08 PROJECT NO. 1834-208-009 DWG. NO. 1 OF 1

SPYGLASS RIDGE FILING NO. 3

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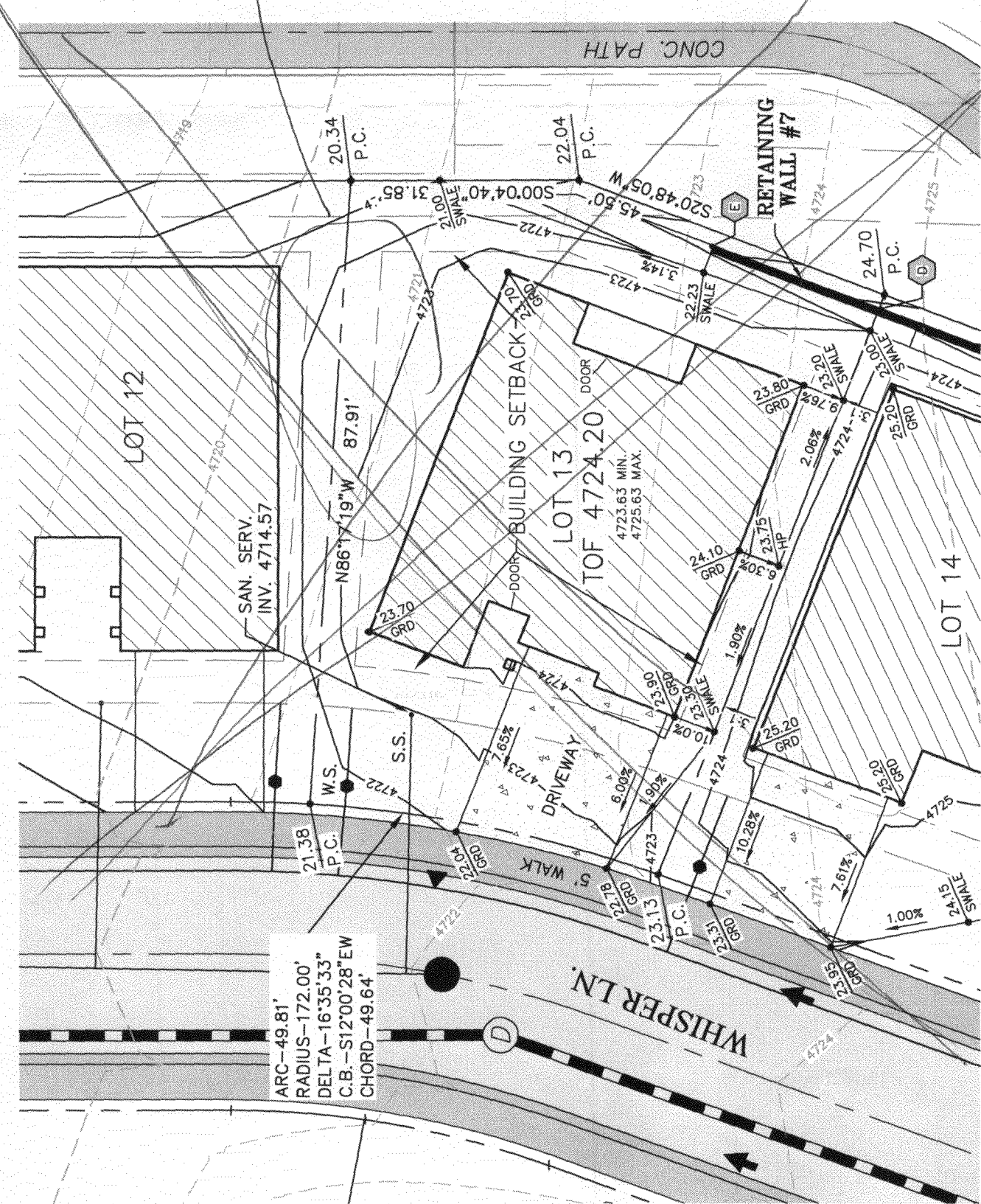


TYPE B
DRAINAGE BOTH TO STREET
AND TO REAR LOT LINE



Drainage Impacting Lot 12. Not Allowed 4/2/08

OLD COPY



ARC-49.81'
RADIUS-172.00'
DELTA-16°35'33"
C.B.-S12°00'28"EW
CHORD-49.64'

SCALE: 1"=20'

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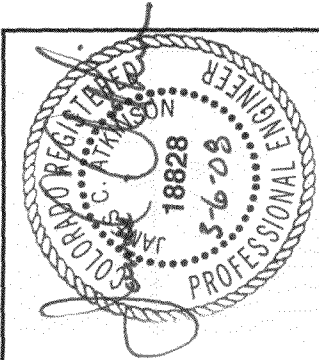
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