

FEE \$	10 ⁰⁰
TCP \$	2554 ⁰⁰
SIF \$	460 ⁰⁰

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. _____

Lift station \$1104⁰⁰
 Building Address 206 Whisper ~~Court~~ Lane
 Parcel No. 2945-264-48-012
 Subdivision Secret Canyon @ Spyglass
 Filing A-3 Block N/A Lot 12

No. of Existing Bldgs 0 No. Proposed 1
 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2184
 Sq. Ft. of Lot / Parcel 5091
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 2654
 Height of Proposed Structure 25'

OWNER INFORMATION:

Name Zeck Homes, Inc.
 Address 700 Belford Ave Suite 105
 City / State / Zip Grand Jet., CO 81501

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name Zeck Homes, Inc.
 Address 700 Belford Ave. Suite 105
 City / State / Zip Grand Jet., CO 81501
 Telephone (970) 254-9325

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: Engineered foundation required
Drinking & Drainage Plan required

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R/2 cluster (R-8) Maximum coverage of lot by structures 30% (70%)
 SETBACKS: Front 20' from property line (PL) Permanent Foundation Required: YES X NO _____
 Side 15' (5') from PL Rear 30' (10') from PL Parking Requirement 2
 Maximum Height of Structure(s) 35' Special Conditions Top of N. Retaining Wall
 Voting District E Driveway Location Approval _____ Should provide swale to prevent flow from draining onto Lot 11. Downspouts should go on corner of bldg.
 (Engineer's Initials) _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

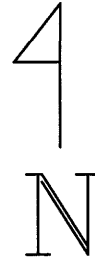
Applicant Signature Jiffany Bird Date 8-22-08
 Department Approval PD Santafiora Date 9/16/08

Additional water and/or sewer tap fee(s) are required:	YES <u>X</u>	NO	W/O No. <u>PD OMSD</u>
Utility Accounting <u>C. Beasley</u>	Date <u>9/16/08</u>		

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

IDENTIFY @ LOT SURVEY:

- *Water/sewer stubs & penetrations
- *Electrical panel placement
- *Gas meter placement
- *UFER ground placement
- *Internet placement (if applicable)
- *Drainage arrows for flatwork & lot drainage
- *T.O.F. verses Established Bench Mark
- *Verify dims between property pins in Field
- *Notate ANY witness corners



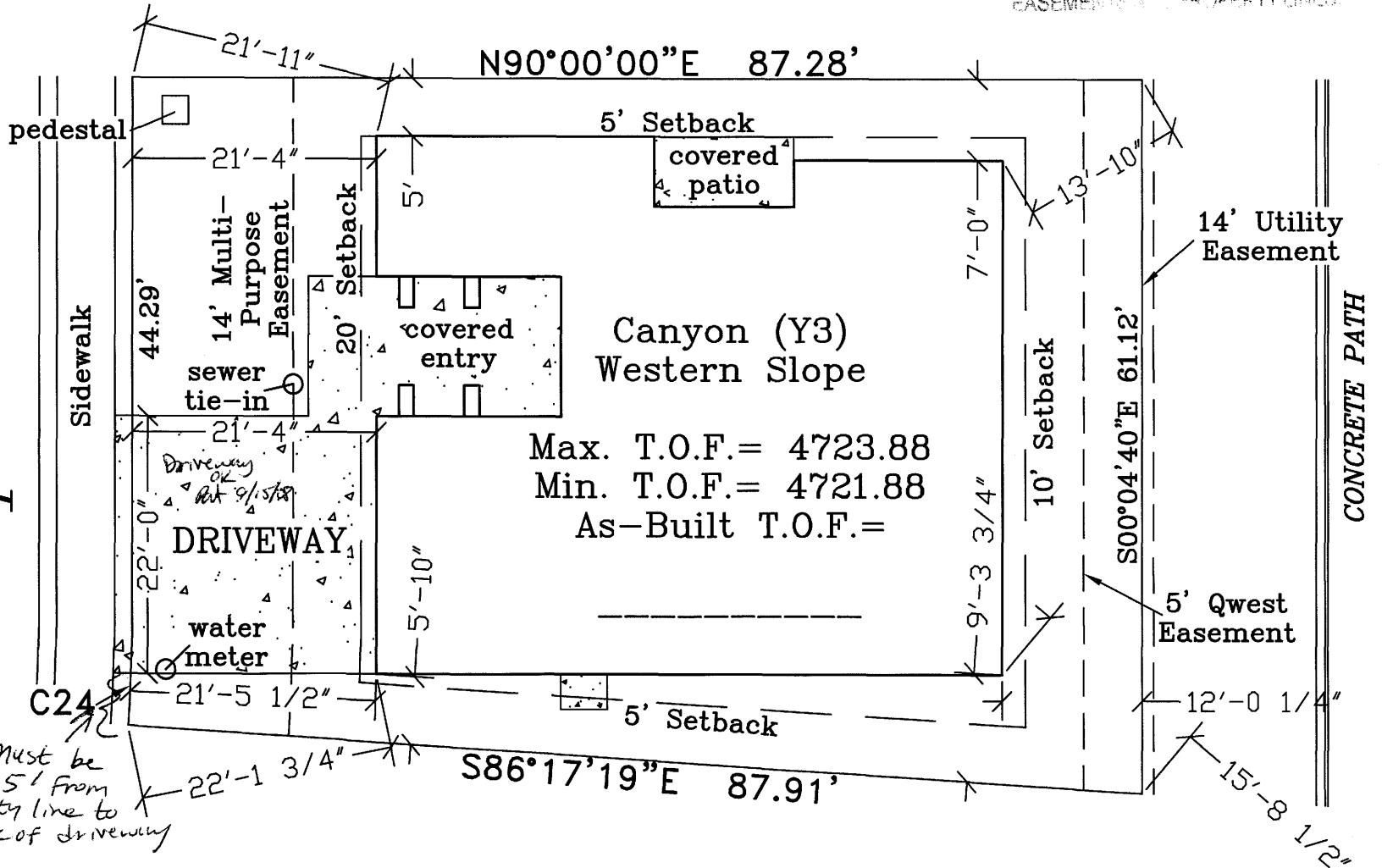
ATTENTION:

- *Gas/ Power Provider
- *Electrician
- *Plumber
- *Zeck Homes
- *Concrete contractor

206 Whisper Lane
 Lot 12
 5091 sq.ft.
 Drainage type "C"

ACCEPTED *PD 511 9/16/08*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

Whisper Lane



Must be 5' from property line to edge of driveway

REVISIONS	BY

Canyon (Y3), Western Slope
 206 Whisper Lane
 Secret Canyon at 5py Glass Ridge
 Grand Junction, Colorado

Zeck Homes, Inc.
 700 Belford Ave. Suite #105
 Grand Junction, CO 81501
 970-254-9325

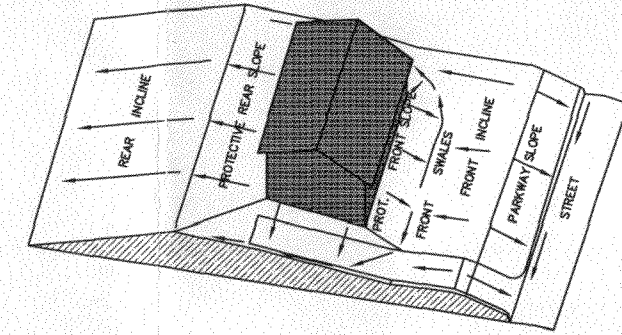


DATE	DATE

SPYGLASS RIDGE FILING NO. 3

LOT 12 - GRADING EXHIBIT

IN THIS LOT GRADING TYPE, REAR SWALES BEHIND THE HOUSE CARRY SURFACE WATER FROM REAR YARD TO THE SIDE YARD SWALES WHICH CARRY IT TO THE STREET FOR DISPOSAL THROUGH THE STREET GUTTERS AND PUBLIC STORM DRAINAGE SYSTEM



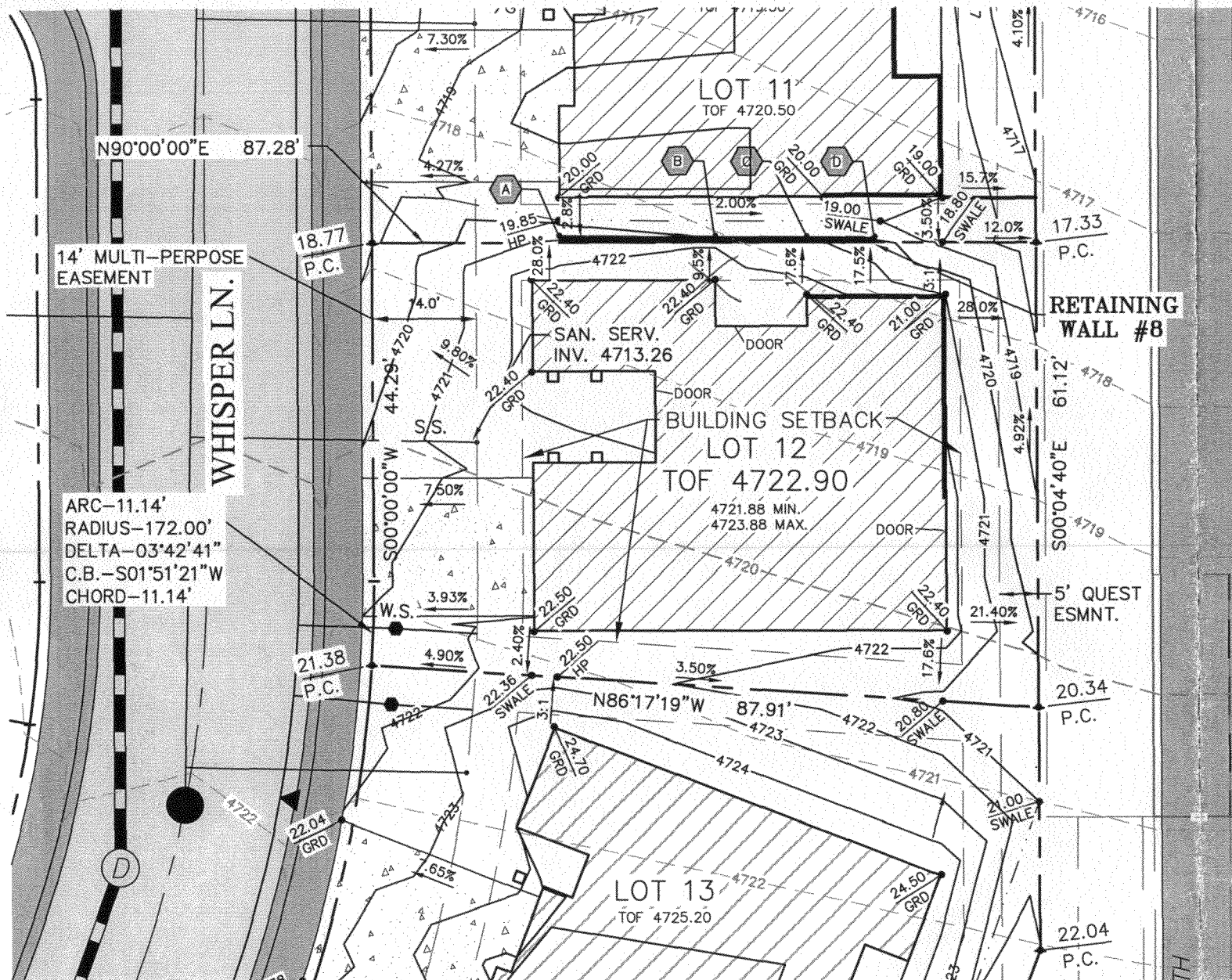
TYPE C
ALL DRAINAGE TO REAR LOT LINE
N.T.S.

GENERAL GRADING NOTES:

1. LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR IS TO CONTACT AFFECTED UTILITY COMPANY FOR SPECIFIC LOCATIONS BEFORE DIGGING.
2. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED PERMITS SHALL BE OBTAINED AT THE CONTRACTOR'S EXPENSE.
3. INDIVIDUAL LOTS SHALL BE LAID OUT SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND SHALL BE COORDINATED WITH THE GENERAL STORM DRAINAGE PATTERN FOR THE AREA.
4. ALL LOTS MUST BE GRADED TO MEET THE ELEVATION OF ADJOINING PROPERTY TO PROVIDE ADEQUATE ACCESS.
5. DRAINAGE SHALL AVOID CONCENTRATION OF STORM DRAINAGE WATER FROM EACH LOT TO ADJACENT LOTS AND NO PERSON MAY DIVERT OR IMPOUND THE NATURAL FLOW OF SURFACE WATERS, IN A MANNER THAT DAMAGES THE PROPERTY OF ANOTHER BY THE OVERFLOW OF THE WATER DIVERTED OR IMPOUNDED.
6. LOT GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS, AS WELL AS THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.



SCALE: 1"=20'



ACCEPTED *SLC 9/16/08*
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

RETAINING WALL #8

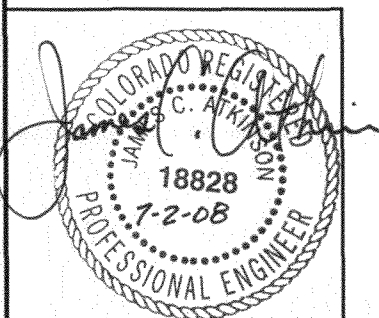
POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4721.35	4720.35	12"
B	4721.94	4719.94	24"
C	4721.20	4719.70	18"
D	4720.52	4719.52	12"

LEGEND:

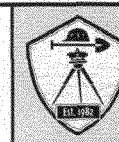
- FINISHED GRADE ELEVATION
- FLOW LINE OF DRAINAGE SWALE
- HIGH POINT OF DRAINAGE SWALE
- PROPERTY CORNER ELEVATION
- SLOPE OF FINISHED GRADE
- TOP OF FOUNDATION/FINISHED FLOOR
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WATER METER/WATER SERVICE
- SANITARY SEWER SERVICE
- RETAINING WALL
- STEPPED/EXPOSED FOUNDATION

NOTE: THIS IS NOT A BOUNDARY SURVEY. FOR GRADING AND DRAINAGE ONLY. REFER TO RECORDED PLAT FOR RECORDED INFORMATION.

NOTE: FOOTPRINT OF BUILDING LAYOUT PROVIDED BY OTHERS AND MAY NOT REFLECT FINAL CONSTRUCTION ON SITE OR EXACT LOCATION OF THE BUILDING WITHIN THE BUILDING ENVELOPE.



JēHN
ENGINEERING
326 MAIN STREET
SUITE 204
DELTA, CO. 81416
PH. (970) 874-8599
FAX (970) 874-6118



TITLE: LOT 12 GRADING EXHIBIT
CLIENT/PROJECT: ZECK HOMES, INC. / SPYGLASS RIDGE
SCALE: 1" = 20' DATE: 7/2/08 PROJECT NO. 1834-208-009 DWG. NO. 1 OF 1