

FEE \$	10-
TCP \$	1589-
SIF \$	460-

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Community Development Department

BLDG PERMIT NO. _____

Life Station #1104

Building Address 2689 Whisper Ct

No. of Existing Bldgs 0

No. Proposed 1
2,715

Parcel No. 2945-264-46-001

Sq. Ft. of Existing Bldgs N/A

Sq. Ft. Proposed ~~2725~~

Subdivision Secret Canyon @ Spyglass

Sq. Ft. of Lot / Parcel 10625

Filing 3 Block N/A Lot 38

Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 4,160 sq. ft.

Height of Proposed Structure 25'

OWNER INFORMATION:

Name Zeck Homes, Inc.

Address 1950 Hwy 6+50

City / State / Zip Fruita, CO 81521

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
- Interior Remodel Addition
- Other (please specify): _____

APPLICANT INFORMATION:

Name Zeck Homes, Inc.

Address 1950 Hwy 6+50

City / State / Zip Fruita, CO 81521

Telephone (970) 858-0178

*TYPE OF HOME PROPOSED:

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (please specify): _____

NOTES: Engineered Foundation required
Grading & drainage plan required

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R-2/Cluster

Maximum coverage of lot by structures 30%

SETBACKS: Front 20' from property line (PL)

Permanent Foundation Required: YES X NO _____

Side 15' from PL Rear 30' from PL

Parking Requirement 2

Maximum Height of Structure(s) 35'

Special Conditions OK Per KF

Voting District E Driveway Location Approval PD
(Engineer's Initials)

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Jenni Arnold Date 1/16/08

Department Approval PD Paul Hornbeck Date 3/10/08

Additional water and/or sewer tap fee(s) are required: YES NO W/O No. 0MSPTAP#5140

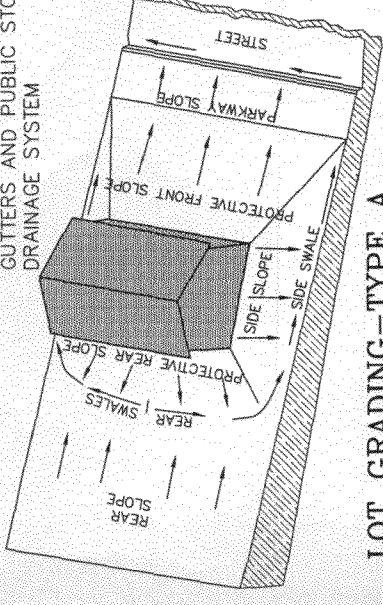
Utility Accounting [Signature] Date 3/10/08

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

SPYGLASS RIDGE FILING NO. 3

LOT 38 - GRADING EXHIBIT

IN THIS LOT GRADING TYPE, REAR SWALES BEHIND THE HOUSE CARRY SURFACE WATER FROM REAR YARD TO THE SIDE YARD SWALES WHICH CARRY IT TO THE STREET FOR DISPOSAL THROUGH THE STREET GUTTERS AND PUBLIC STORM DRAINAGE SYSTEM



LOT GRADING - TYPE A
ALL DRAINAGE TO STREET



SCALE: 1" = 20'

GENERAL GRADING NOTES:

1. LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR IS TO CONTACT AFFECTED UTILITY COMPANY FOR SPECIFIC LOCATIONS BEFORE DIGGING.
2. CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL ASSURE HIMSELF THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED PERMITS SHALL BE OBTAINED AT THE CONTRACTOR'S EXPENSE.
3. INDIVIDUAL LOTS SHALL BE LAID OUT SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND SHALL BE COORDINATED WITH THE GENERAL STORM DRAINAGE PATTERN FOR THE AREA.
4. ALL LOTS MUST BE GRADED TO MEET THE ELEVATION OF ADJOINING PROPERTY TO PROVIDE ADEQUATE ACCESS.
5. DRAINAGE SHALL AVOID CONCENTRATION OF STORM DRAINAGE WATER FROM EACH LOT TO ADJACENT LOTS AND NO PERSON MAY DIVERT OR IMPOUND THE NATURAL FLOW OF SURFACE WATERS IN A MANNER THAT DAMAGES THE PROPERTY OF ANOTHER BY THE OVERFLOW OF THE WATER DIVERTED OR IMPOUNDED.
6. LOT GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, RULES AND REGULATIONS, AS WELL AS THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.

LEGEND:

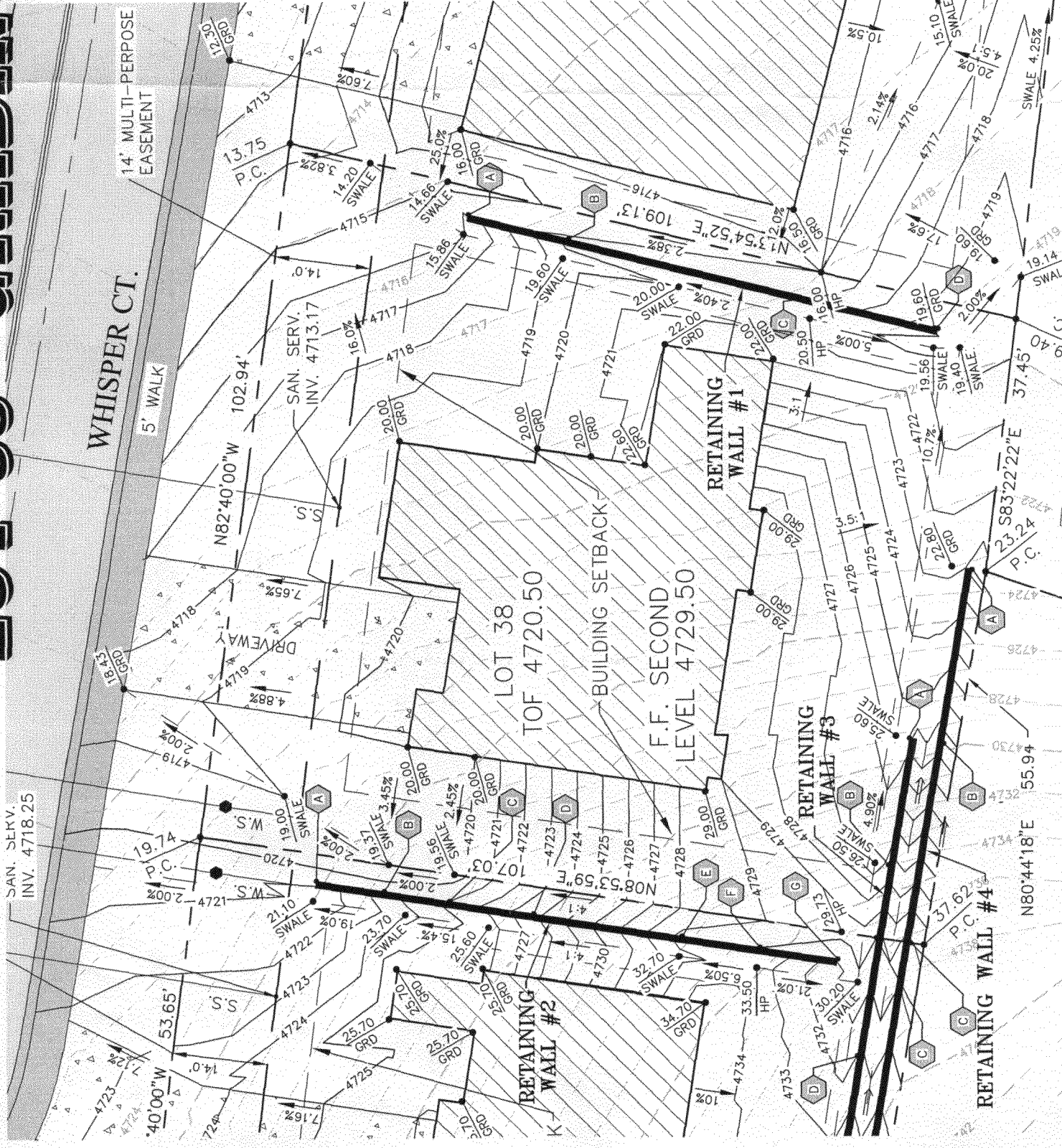
- 16.50 GRD FINISHED GRADE ELEVATION
- 16.50 SWALE FLOW LINE OF DRAINAGE SWALE
- HP HIGH POINT OF DRAINAGE SWALE
- 16.50 P.C. PROPERTY CORNER ELEVATION
- 9.50% SLOPE OF FINISHED GRADE
- T.O.F. TOP OF FOUNDATION/FINISHED FLOOR
- 4719 EXISTING CONTOUR
- 4719 PROPOSED CONTOUR
- W.S. WATER METER/WATER SERVICE
- S.S. SANITARY SEWER SERVICE

RETAINING WALL #1			
POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4716.36	4715.76	8"
B	4720.10	4716.10	48"
C	4721.00	4717.00	48"
D	4710.10	4719.60	6"

RETAINING WALL #2			
POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4716.36	4715.76	8"
B	4723.40	4720.40	36"
C	4725.00	4721.00	48"
D	4727.70	4723.70	48"
E	4733.20	4729.20	48"
F	4734.00	4730.00	48"
G	4731.40	4730.70	8"

RETAINING WALL #3			
POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4726.30	4725.80	6"
B	4731.20	4727.20	48"
C	4734.00	4730.00	48"
D	4736.00	4732.00	48"
E	4738.70	4734.70	48"
F	4737.40	4734.80	32"
G	4734.20	4730.20	20"
H	4734.50	4733.80	8"

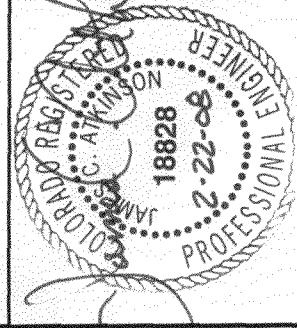
RETAINING WALL #4			
POINT NUMERAL	TOP OF WALL (TOP)	GRADE (GRD)	WALL HEIGHT
A	4723.70	4723.00	8"
B	4730.40	4726.40	36"
C	4738.10	4734.10	48"
D	4742.80	4738.80	48"
E	4737.40	4733.40	48"
F	4736.40	4734.40	24"
G	4734.00	4733.30	8"



ok per KY

NOTE: THIS IS NOT A BOUNDARY SURVEY. FOR GRADING AND DRAINAGE ONLY. REFER TO RECORDED PLAT FOR RECORDED INFORMATION.

NOTE: FOOTPRINT OF BUILDING LAYOUT PROVIDED BY OTHERS AND MAY NOT REFLECT FINAL CONSTRUCTION ON SITE OR EXACT LOCATION OF THE BUILDING WITHIN THE BUILDING ENVELOPE.



JehN ENGINEERING
326 MAIN STREET
SUITE 204
DELTA, CO. 81416
PH. (970) 874-8599
FAX (970) 874-6118

TITLE: LOT 38 GRADING EXHIBIT
CLIENT/PROJECT: ZECK HOMES, INC. / SPYGLASS RIDGE
SCALE: 1" = 20' DATE: 2/18/08 PROJECT NO. 1834-208-009 DWG. NO. 1 OF 1