

FEE \$	10 ⁰⁰
TCP \$	2554 ⁰⁰
SIF \$	460 ⁰⁰

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)
Community Development Department

BLDG PERMIT NO.

Building Address 2638 New Orchard Ct. No. of Existing Bldgs 0 No. Proposed 1
Parcel No. 2701-352-72-015 Sq. Ft. of Existing Bldgs 0 Sq. Ft. Proposed 2,422 Res 9915 SF.
Subdivision Old Orchard Estates Sq. Ft. of Lot / Parcel 19,000-42 sq. ft.
Filing _____ Block 2 Lot 15 Sq. Ft. Coverage of Lot by Structures & Impervious Surface (Total Existing & Proposed) 4,156 21%
Height of Proposed Structure 20'

OWNER INFORMATION:

Name WCI, LLC
Address 891 26 1/2 Rd.
City / State / Zip Grand Jct., CO 81506

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): _____

APPLICANT INFORMATION:

Name WCI, LLC / Bonnie Petersen
Address 891 26 1/2 Rd.
City / State / Zip Grand Jct., CO 81506
Telephone 970-640-8181

***TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

AUG 25 2010

NOTES: _____

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE R-2 Maximum coverage of lot by structures 30%
SETBACKS: Front 20 from property line (PL) Permanent Foundation Required: YES X NO _____
Side 15 from PL Rear 30 from PL Parking Requirement 2
Maximum Height of Structure(s) 35' Special Conditions _____
Voting District B Driveway Location Approval PD (Engineer's Initials) Floodplain Yes _____ No X

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature Bonnie Petersen Date 8-19-10
Department Approval PD Gayleen Henderson Date 8-19-10

Additional water and/or sewer tap fee(s) are required:	YES <u>X</u> NO _____	W/O No. <u>21747</u>
Utility Accounting <u>Q me</u>	Date <u>8/25/10</u>	

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

Happy & Curtis
 2638 New Orchard Ct
 Block 2 Lot 15
 Old Orchard Estates
 Grand Junction CO

CAD Designs LLC
 Grand Junction CO

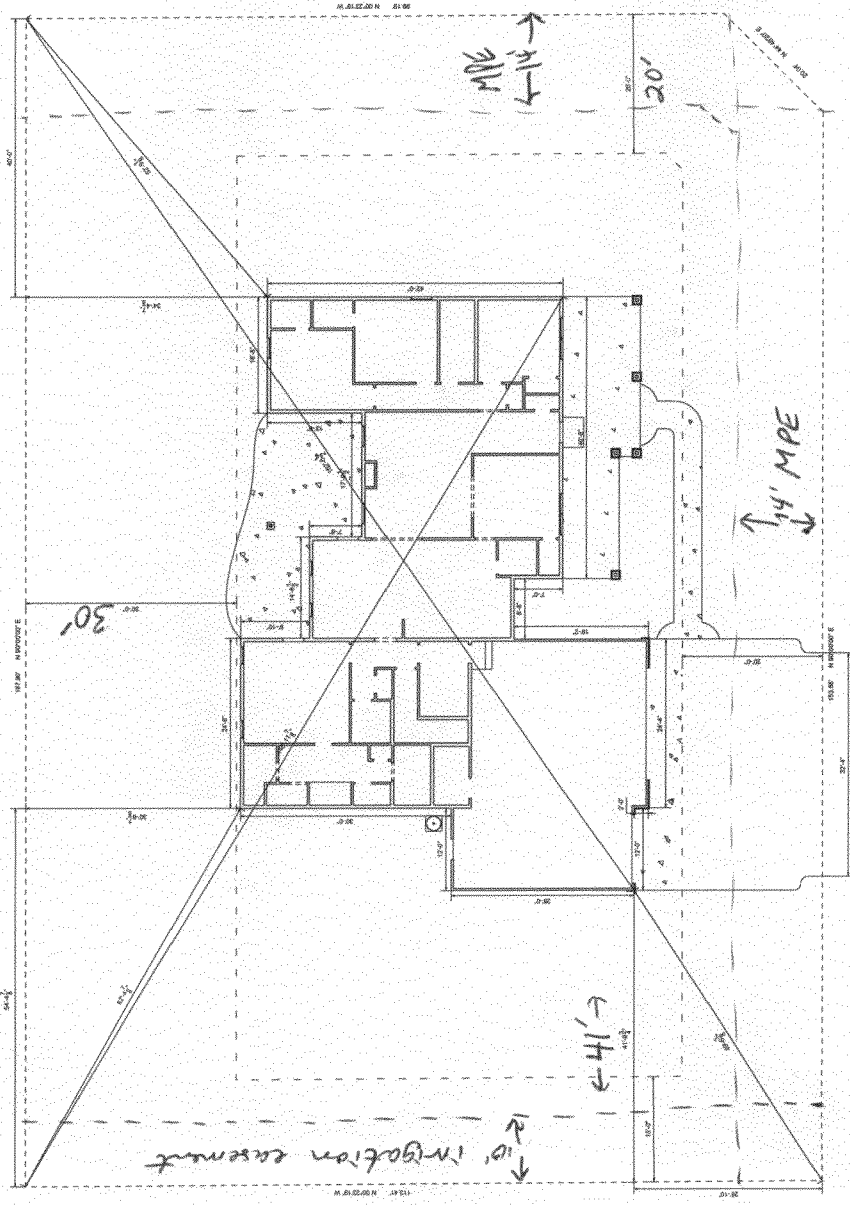
W.C.I.

Site Plan

Project number	18-04
Date	8/15/10
Drawn by	JFL
Scale	1/8" = 1'-0"

C-1

NO.	DATE	DESCRIPTION
1	8/15/10	ISSUED FOR PERMITS
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Driveway OK
 8/19/10

8-19-10
 Bayleen Henderson

ACCEPTED BY Bayleen Henderson
 ANY CHANGE OF SETBACKS MUST BE
 APPROVED BY THE CITY PLANNING DIVISION.
 IT IS THE APPLICANT'S RESPONSIBILITY TO
 PROPERLY LOCATE AND IDENTIFY
 EASEMENTS AND PROPERTY LINES.

1. General Contractor (GC) or Owner shall verify all dimensions, site conditions, site conditions and site work before and during construction.
 2. GC or Owner shall verify all dimensions, site conditions and site work before and during construction.
 3. GC or Owner shall verify all dimensions, site conditions and site work before and during construction.
 4. GC or Owner shall verify all dimensions, site conditions and site work before and during construction.
 5. This plan has not been prepared by CAD Designs LLC. All final engineering, when required, is to be provided by owner.

SHARPER

Engineering Services, Inc.

1154 N. 4th St. - Grand Jct., CO 81501
Ph (970) 255-0909 - Fax (970) 242-5663

October 7, 2010

MESA COUNTY BUILDING DEPT.
750 Main Street
Grand Junction, CO 81501

RE: Top of Foundation elevation for 2638 New Orchard Court
Building Permit #10-02102

Dear Sirs;

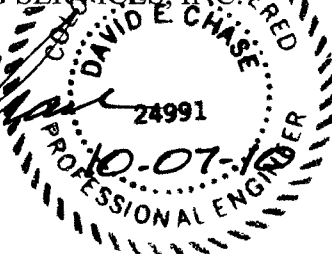
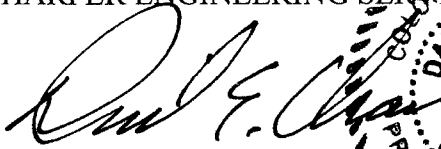
As part of the construction of the home at the above referenced address, **Sharper Engineering Services** has performed a field survey in order to determine the 'as constructed' Top of Foundation elevation. Results from this survey show that the foundation for this structure consists of various stepped elevations, all of which are lower than the Minimum Top of Foundation (T.O.F.) elevation of 4716.00 as provided by the Mesa County Building Department. Elevations measured at this structure, from highest to lowest, are 4714.95, 4714.15, and 4713.60, with the lowest elevation being situated in the garage area of the home.

In review of this site, the highest point is at an elevation of about 4715.0, or approximately one-foot lower than the minimum T.O.F. elevation. The topography of this site indicates that there is roughly four feet of elevation difference across this site. The design of the home for this site situated the garage, and driveway, at the low point of the lot, which meant that satisfying the minimum T.O.F. elevation would not have been possible as there would have been some five feet of elevation difference at the driveway location. In our opinion, the elevation of the foundation that has been set for this structure is appropriate for the topography of this site. In addition, in review of the proposed grading of the lot, it would be our opinion that it can be accomplished in order to provide positive drainage away from the foundation and without creating any adverse impacts to this lot or any of the surrounding parcels. Therefore, it would be our opinion that the Top of Foundation elevation is at an acceptable elevation for this address.

If there are any questions or concerns in this matter, please feel free to contact me at your convenience

Sincerely,

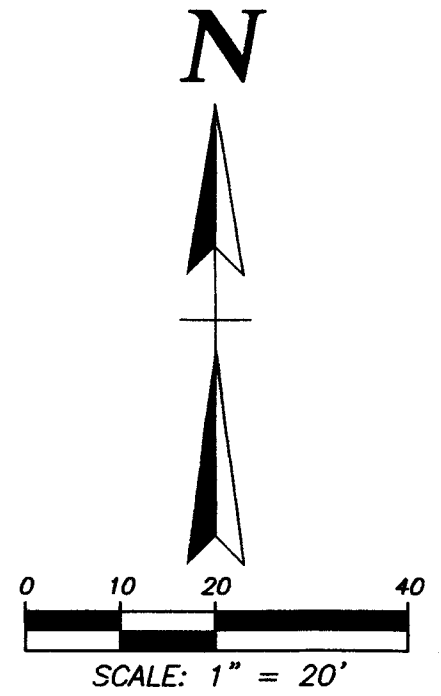
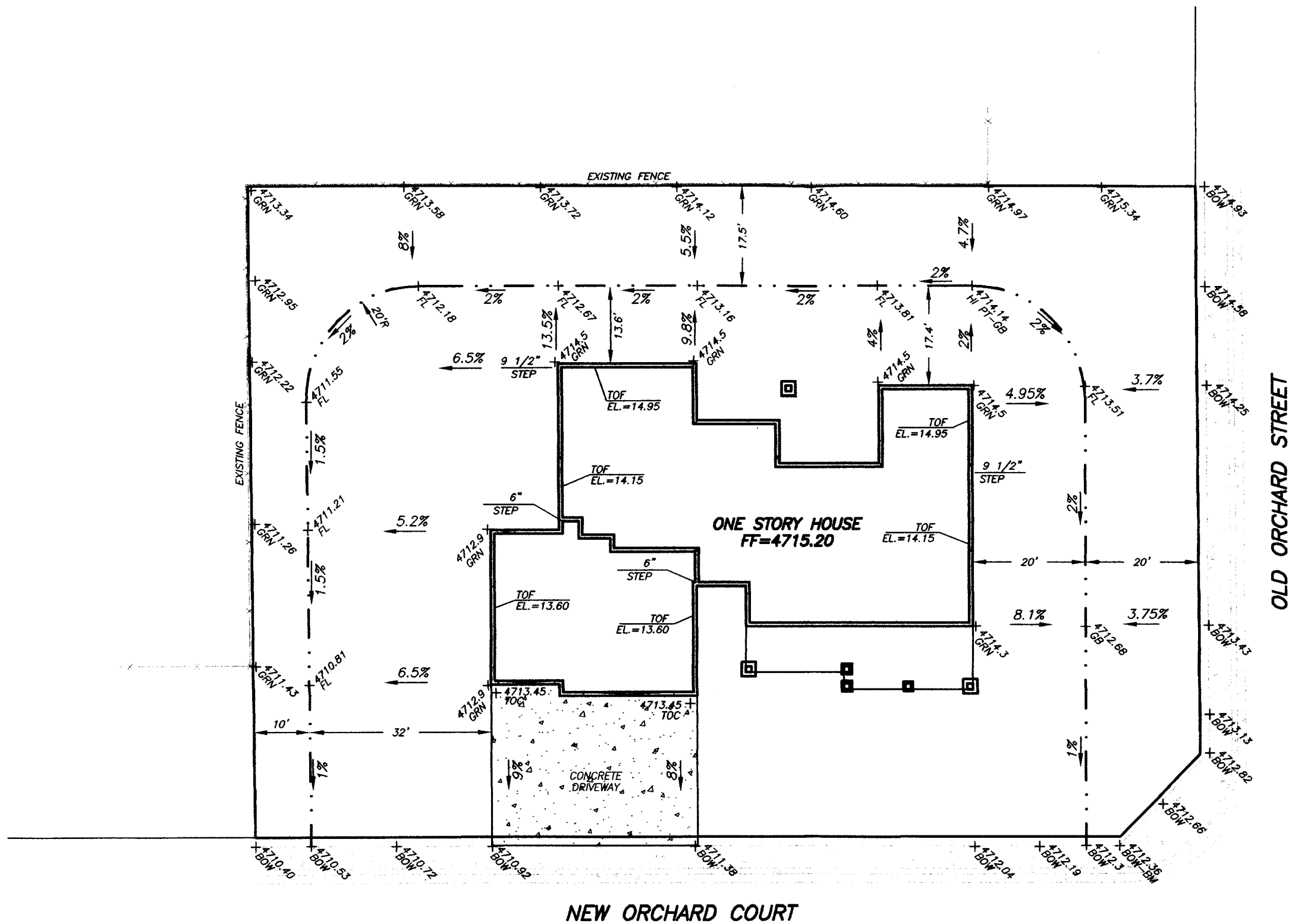
SHARPER ENGINEERING SERVICES, INC.



DAVID E. CHASE
24991
10-07-10
PROFESSIONAL ENGINEER

David E. Chase, P.E.
Project Manager

xc: Bonnie Petersen, WCI, LLC



- LIST OF ABBREVIATIONS**
- BOW = BACK OF WALK
 - GRN = GROUND
 - FL = FLOWLINE
 - TOC = TOP OF CONCRETE
 - TOF = TOP OF FOOTER
 - BM = BENCHMARK

2638 OLD ORCHARD STREET

CITY OF GRAND JUNCTION DEVELOPMENT ENGINEER
 MODIFICATION OF TOP OF FOUNDATION ACCEPTANCE
Kurt Down 10-14-10
 Date