

E-PCR-2010-265

1715-00

FEE \$	10 ⁰⁰
TCP \$	/
SIF \$	/

PLANNING CLEARANCE

(Single Family Residential and Accessory Structures)

Public Works & Planning Department

BLDG PERMIT NO.

Building Address 2810 S NIAGARA CIR
 Parcel No. 2943-182-20-017
 Subdivision Niagara Village
 Filing _____ Block _____ Lot _____

No. of Existing Bldgs 1 No. Proposed 0
 Sq. Ft. of Existing Bldgs 1280 Sq. Ft. Proposed _____
 Sq. Ft. of Lot / Parcel 3,833.28
 Sq. Ft. Coverage of Lot by Structures & Impervious Surface
 (Total Existing & Proposed) 1947
 Height of Proposed Structure 10'

OWNER INFORMATION:

Name RYAN PRITCHETT
 Address 2810 S NIAGARA CIR
 City / State / Grand Jct. CO. 81501

DESCRIPTION OF WORK & INTENDED USE:

New Single Family Home (*check type below)
 Interior Remodel Addition
 Other (please specify): SHED ROOF ON TOP OF EXISTING DETACHED PORCH

APPLICANT INFORMATION:

Name TREAT-U-RIGHT CONST.
 Address 279 EAST PARKVIEW DR
 City / State / Grand Junction CO. 81503
 Telephone 970-201-7447

*TYPE OF HOME PROPOSED:

Site Built Manufactured Home (UBC)
 Manufactured Home (HUD)
 Other (please specify): _____

NOTES:

REQUIRED: One plot plan, on 8 1/2" x 11" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, ingress/egress to the property, driveway location & width & all easements & rights-of-way which abut the parcel.

THIS SECTION TO BE COMPLETED BY PLANNING STAFF	
ZONE <u>PD</u>	Maximum coverage of lot by structures _____
SETBACKS: Front <u>per plot plan</u> from property line (PL)	Permanent Foundation Required: YES _____ NO _____
Side _____ from PL Rear _____ from PL	Floodplain Certificate Required: YES _____ NO _____
Maximum Height of Structure(s) _____	Parking Requirement _____
Voting District _____	Special Conditions _____
Driveway Location Approval _____	
(Engineer's Initials)	

Modifications to this Planning Clearance must be approved, in writing, by the Public Works & Planning Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant Signature [Signature] Date 10/14/10
 Planning Approval [Signature] Date 10/14/10

Additional water and/or sewer tap fee(s) are required:	YES	NO <input checked="" type="checkbox"/>	W/Q No. <u>covered.</u>
Utility Accounting <u>[Signature]</u>	Date <u>10-14-10</u>		

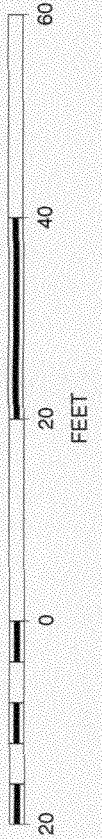
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 21.02.070(b) Grand Junction Municipal Code)
 (White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)

2810 S Niagara Cir



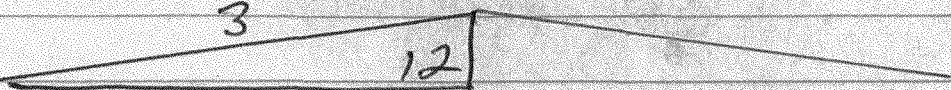
Roof on top of existing Detached Ramp + Porch

SCALE 1 : 225

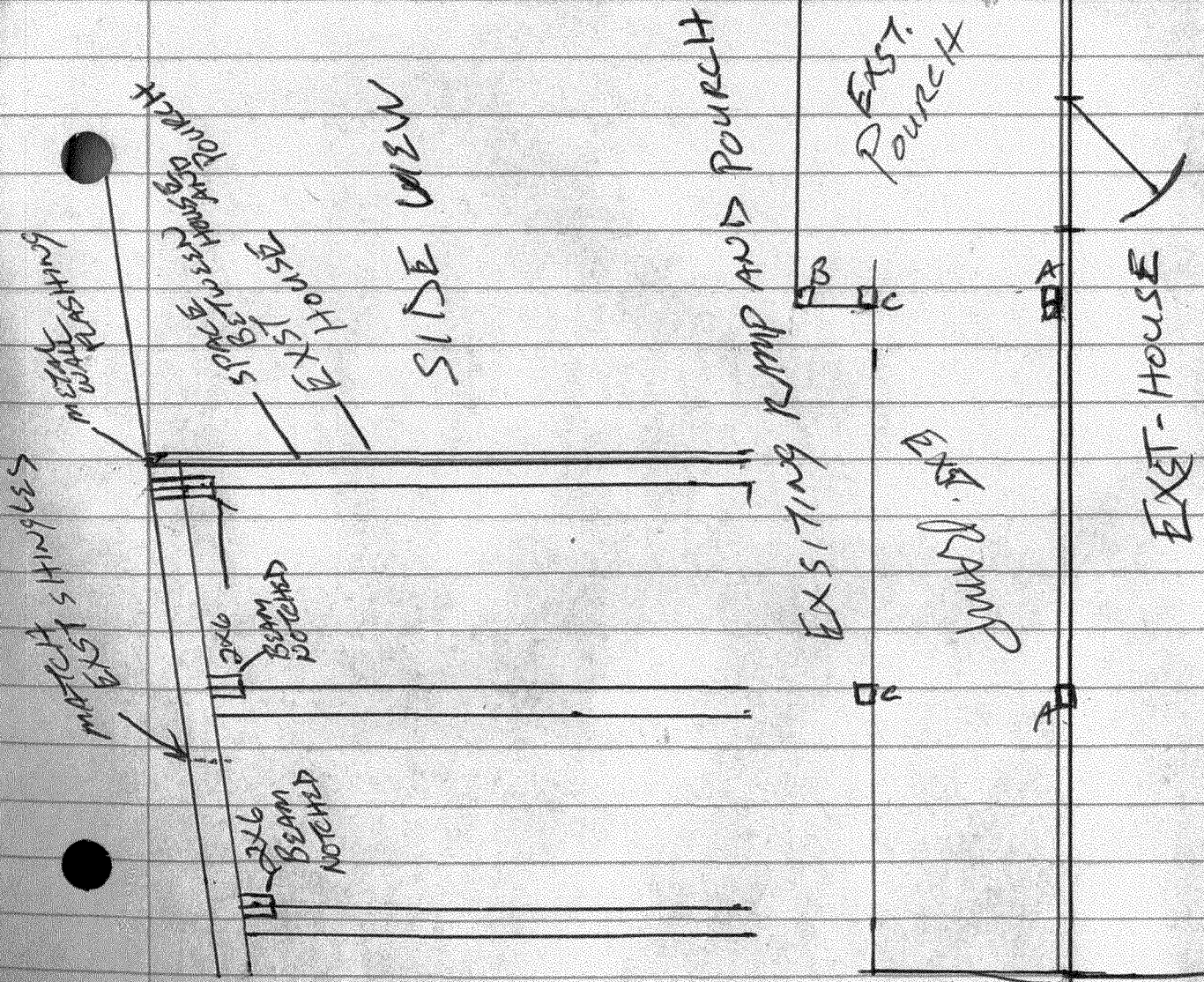


Accepted for Review 10/14/10
ACCEPTED FOR REVIEW
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DIVISION.
IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS.
Thursday, October 14, 2010 12:45 PM

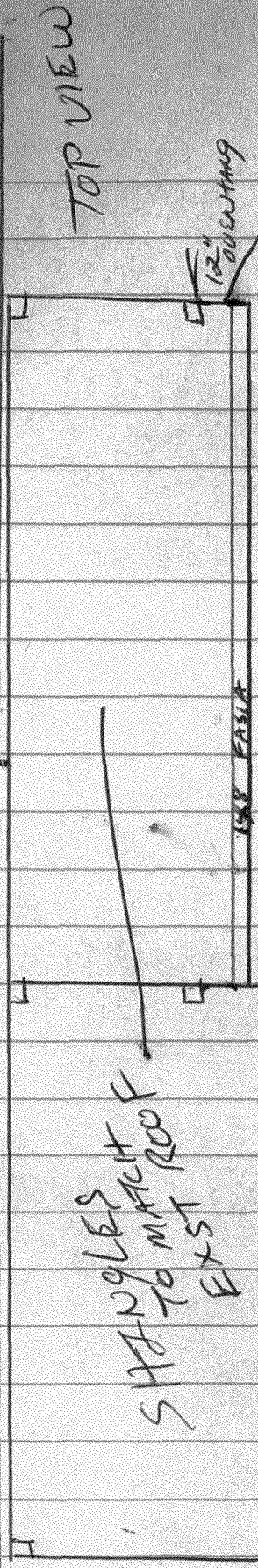
EXT-ROOF PITCH



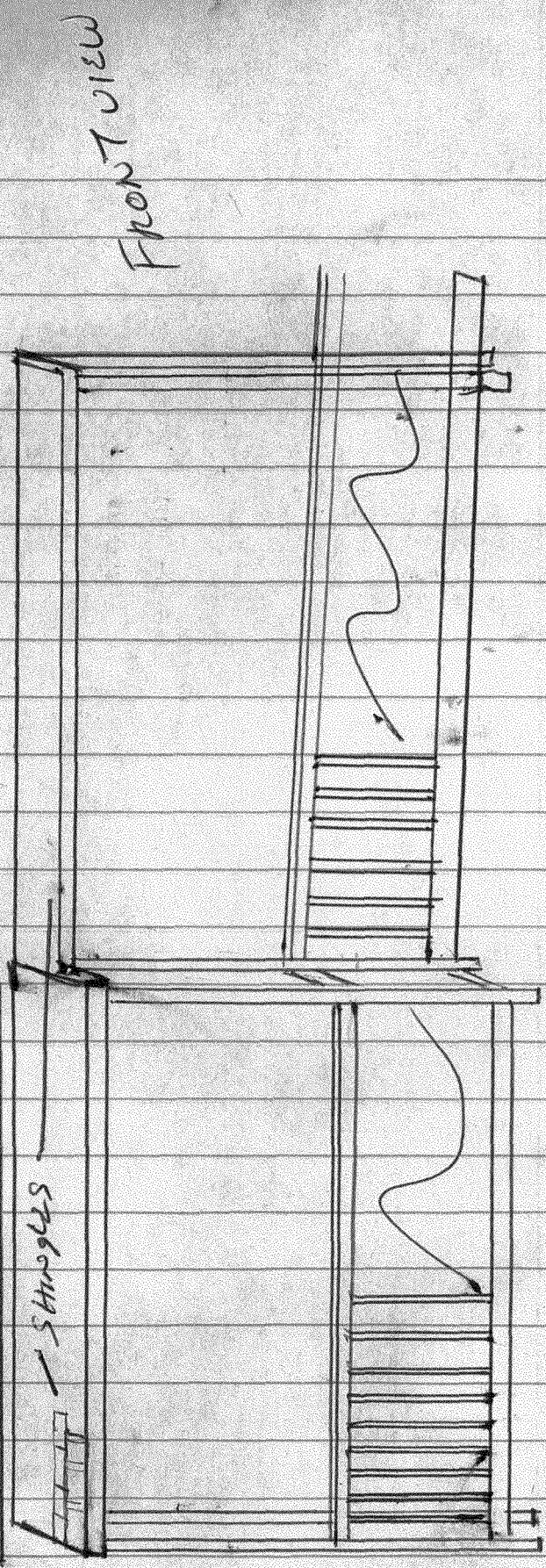
- A) EXTEND 7 OUTSIDE POSTS TO 10' ± - AT HOUSE AND FOLLOW ROOF LINE TO END POSTS
- B) OUTSIDE POSTS TO FOLLOW ROOF LINE DOWN TO 8'2" ± -
- C) OUTSIDE POST TO FOLLOW ROOF LINE TO 8'9" ± -



EXIST-HOUSE



SPINDLES
TO MATCH
EXIST ROOF



12\"/>
DOWNING

12\"/>
FASIA

SPINDLES

12\"/>
FASIA

12\"/>
DOWNING