

# THE SEASONS AT TIARA RADO FILING NO. 6

A portion of the SE 1/4 NW 1/4 and of the SW 1/4 NE 1/4 Section 27,  
Township 11 South, Range 101 West of the 6th Principal Meridian, Mesa County, Colorado

**OWNER'S STATEMENT AND DEDICATION:**

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, The Seasons at Tiara Rado Associates, a Colorado General Partnership, is the owner of that real property situated in the SE 1/4 NW 1/4 and in the SW 1/4 NE 1/4 Section 27, Township 11 South, Range 101 West, 6th Principal Meridian, Mesa County, Colorado as recorded in the Mesa County Clerk and Recorder's records in Book 1773, Pages 139 and 140, being more particularly described as follows:

BEGINNING at the C 1/4 corner of said Section 27, Township 11 South, Range 101 West of the 6th Principal Meridian, Mesa County, Colorado, whence the C-E 1/16 corner of said Section 27 bears S89°05'34"E, 1355.13 feet with all other bearings contained herein being relative thereto;  
thence, N44°31'44"W, 807.55 feet; thence, N45°28'16"E, 124.00 feet; thence, N22°54'22"E, 254.52 feet; thence, N35°18'35"W, 333.42 feet; thence, N35°32'53"E, 100.28 feet; thence, S76°49'51"E, 222.74 feet; thence, S47°34'58"E, 177.67 feet; thence, S81°57'13"E, 189.14 feet; thence, S42°53'38"E, 704.39 feet; thence, S38°01'16"W, 47.04 feet; thence, S00°45'48"W, 87.61 feet; thence, S78°33'26"W, 50.48 feet; thence, S01°04'14"W, 129.96 feet; thence, S46°00'50"W, 20.19 feet; thence, along a curve to the left 29.71 feet, with an interior angle of 02°31'18" and a radius of 675.00 feet, the chord of which bears S89°37'46"W, 29.71 feet; thence, S88°22'06"W, 34.36 feet; thence, S01°37'54"E, 50.00 feet; thence, S18°29'31"E, 226.12 feet to the south line of the SW 1/4 NE 1/4 of said Section 27; thence, N89°05'34"W along the south line of said SW 1/4 NE 1/4, 414.07 feet to the POINT OF BEGINNING; containing 18.11 acres.

That said owner has caused the said property to be laid out and platted as THE SEASONS AT TIARA RADO FILING NO. 6.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

All Streets, Roads and Rights-of-Way to the City of Grand Junction for the use of the public forever;  
All Multi-Purpose Easements to the City of Grand Junction for the use of City-approved: utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, irrigation lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures;

All Storm Drain Utility Easements to the City of Grand Junction for the use of City-approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of storm drain utilities, appurtenances and equivalent other public providers and appurtenant facilities;

All Sight Easements to the City of Grand Junction for ensuring adequate sight zones are maintained such that no sight obscuring sign, wall, fence, berming, or other object higher than 30 inches, or in the case of trees, no foliage lower than 8 feet is located within the area of such Sight Easements. Objects that do not meet the height criteria that may be located in the sight zones are items such as hydrants, utility poles, and traffic control devices provided they are also within their designated multi-purpose easement or utility easement. These shall be located to minimize visual obstructions;

Tract A to the Master Home Owners' Association as hereby platted for the purposes of maintaining open space and specifically designated as a non-building and non-disturbance area as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

Tract B to the Master Home Owners' Association as hereby platted for the purposes of maintaining and operating a storm water detention pond as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

Tract C to the Master Home Owners' Association as hereby platted for the purposes of maintaining open space, providing a drainage area for Tiara Rado Wash flood plain, providing pedestrian access between the dedicated public streets and providing ingress/egress access for Lots 22, 23 and 24 as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

Tract D to the Master Home Owners' Association as hereby platted for the purposes of maintaining open space and maintaining and operating a storm water detention area as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

Tract E to the Master Home Owners' Association as hereby platted for the purposes of maintaining a berm as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

Tract F to the Master Home Owners' Association as hereby platted for the purposes of maintaining and operating ingress/egress access to Tracts A and B as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

The Ute Water Conservancy District Easement in Lot 22, Lot 23 and Tract C as a non-exclusive easement to Ute Water Conservancy District, its successors and assigns, for the installation, operation, maintenance and repair of a domestic water supply line;

The 20' Ingress/Egress Easement on and over Lots 1 and 2 as more specifically described in a conveyance recorded at Book \_\_\_\_\_, Page \_\_\_\_\_.\*

All Tracts/Easements include the right of ingress and egress on, along, over, under, through and across by the beneficiaries, their successors, or assigns, for the purposes therein stated together with the right to trim or remove interfering trees and brush, and in Drainage and Detention/Retention easements or tracts, the right to dredge; provided, however, that the beneficiaries/owners shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden or overburden said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

**Exclusive Easements:**

Said owner does further create, grant and convey perpetual Exclusive Easements on and over such portion of said real property as are identified on this plat map of THE SEASONS AT TIARA RADO FILING NO. 6 as "Exclusive Easement", which easements shall be for the exclusive benefit and use of the lot which abuts the area subject to the easement, as reflected on this plat map, subject to all Covenants, Conditions, and Restrictions which are now or hereafter recorded relative to such lots. Each of the easements described above shall run with the land and shall be binding for all purposes on each owner of the lots identified on this plat map, and his or her heirs, successors, assigns, executors and administrators.

Owners of lots on which Exclusive Easements are located and utility companies providing services thereto shall have right of entry and access to the Exclusive Easement area to maintain facilities associated with each Owner's home (i.e., building, walls, fences, utility meters, utility equipment, etc.). Owners of lots on which Exclusive Easements are located and utility companies providing services thereto will take all precautions within a normal standard of care to protect all landscaping while accessing and working in the Exclusive Easement area.

Stipulations regarding the Exclusive Easements apply to Lot 7 of The Seasons at Tiara Rado Filing No. 5 and Lots 26 through 34 of this said Filing No. 6.

Covenants that pertain to Filing No. 6 include:

Declaration of Covenants, Conditions and Restrictions of The Master Subdivision of Tiara Rado South (name later changed to The Seasons at Tiara Rado) recorded May 4, 1990, Book 1786, Page 241, Mesa County, Colorado, together with all supplements and Amendments thereto; and,

Fifth Supplement To The Declaration of Covenants, Conditions and Restrictions of The Master Subdivision of The Seasons at Tiara Rado, to be recorded in the Clerk and Recorder's records of Mesa County, Colorado.

That all lien holders on the described property are represented hereon.

In witness whereof said owner has caused his name to be hereunto subscribed this 5th day of February, A.D. 2001.

The Seasons at Tiara Rado Associates  
A Colorado General Partnership  
By: Transmontane Development Corporation

*Jack Acuff*  
Jack Acuff, President  
Transmontane Development Corp., Partner

STATE OF COLORADO }  
COUNTY OF MESA } SS

The foregoing instrument was acknowledged before me by Jack Acuff, President of Transmontane Development Corp., a Partner of The Seasons at Tiara Rado Associates, this 5th day of February, A.D. 2001.

Witness my hand and official seal: *Thomas W. Sylvester*  
Notary Public

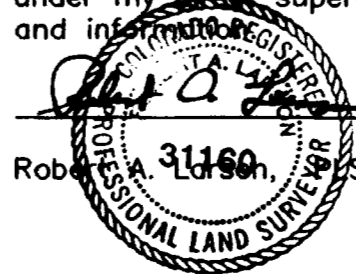
My commission expires 7/3/04



\*These instruments are to be recorded concurrently with or after the recording of this plat, each with references to this plat's recording information. As such, the specified referenced recording information was not available at the time of plat certification or signing by any of the designated signatories.

**NOTICE:**  
According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**SURVEYOR'S STATEMENT:**  
I, Robert A. Larson, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat of THE SEASONS AT TIARA RADO FILING NO. 6, was prepared from a survey performed by me or under my direct supervision, and is correct to the best of my knowledge and information.  
*Robert A. Larson*  
Rob Larson, Registered Professional Land Surveyor, No. 31160 Date 2-3-01



**LIEN HOLDER'S CERTIFICATE:**

The Bank of Colorado does hereby consent to THE SEASONS AT TIARA RADO FILING NO. 6 subdivision.

*Stephen C. Love*  
Stephen C. Love, Vice President  
Bank of Colorado  
Grand Junction, Colorado

STATE OF COLORADO }  
COUNTY OF MESA } SS

The foregoing instrument was acknowledged before me by Stephen C. Love, Vice President, Bank of Colorado, this 7th day of February, A.D. 2001.

Witness my hand and official seal: *Jill Hines*  
Notary Public

My commission expires \_\_\_\_\_



My Commission Expires April 20, 2002

**CITY OF GRAND JUNCTION'S APPROVAL:**

Approved this 9 day of February, A.D. 2001 by the City of Grand Junction, County of Mesa, State of Colorado.

*Gene Suse*  
Mayor, City of Grand Junction *John*  
City Manager

**CLERK AND RECORDER'S CERTIFICATE:**

STATE OF COLORADO }  
COUNTY OF MESA } SS

I hereby certify that this instrument was filed in my office at 4:29 o'clock P.M. this 15th day of March, A.D., 2001 and is duly recorded in Plat Book No. 18, Page 109, 110, 111 Reception No. 1985630 Drawer No. JJ-84

\_\_\_\_\_  
Clerk and Recorder Deputy Fees

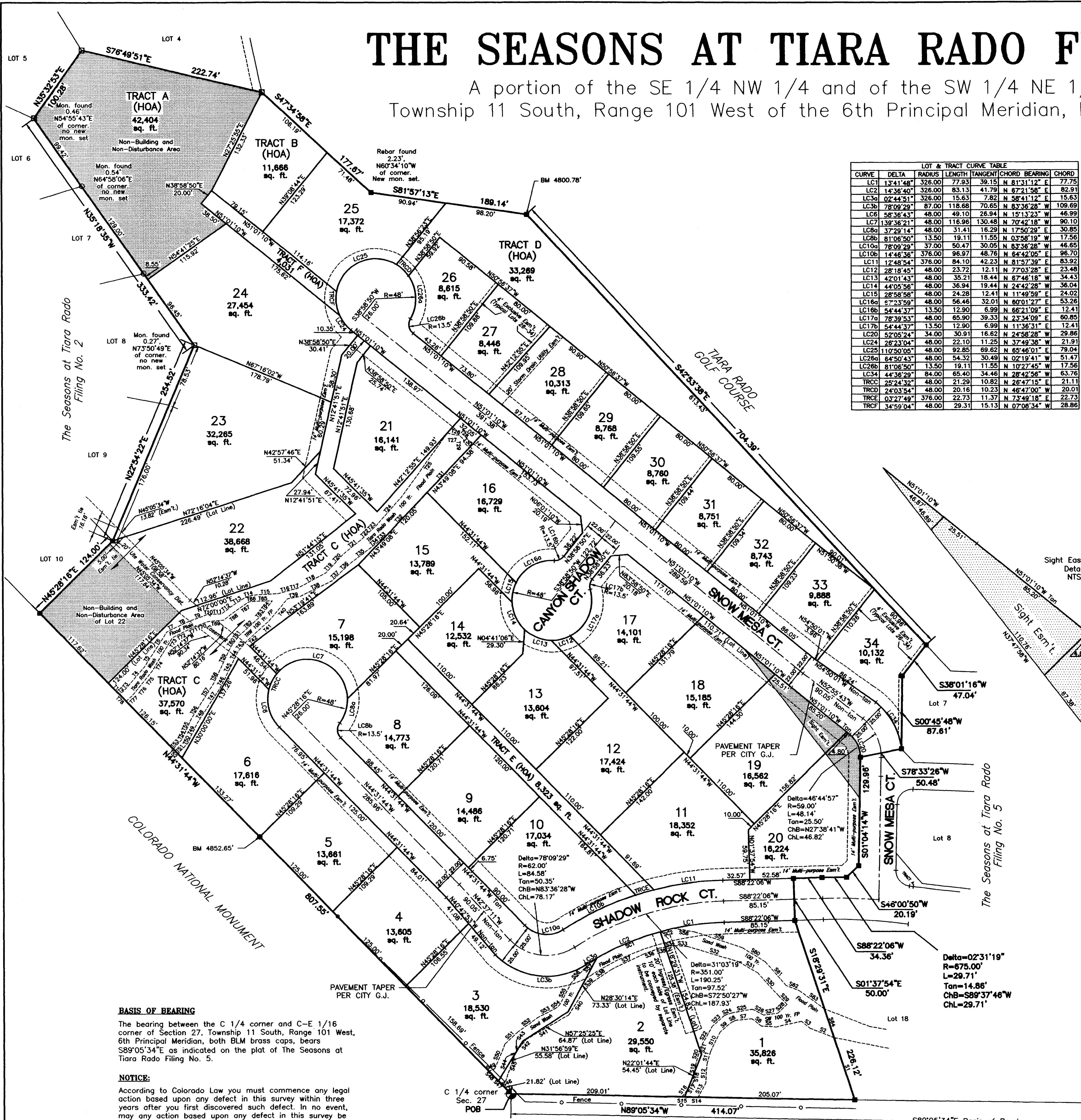
Merritt IS, L.L.C.  
2004 N. 12th St., #4, Grand Junction, CO. 81501  
PHONE (970) 255-7386 FAX (970) 243-8515

**THE SEASONS AT TIARA RADO FILING NO. 6**  
SE 1/4 NW 1/4 & SW 1/4 NE 1/4 Section 27  
Township 11 South, Range 101 West  
6th Principal Meridian  
Mesa County, Colorado

DATE: January 24, 2001	SCALE: 1" = 60'
DRAWN: TWS	CHK: RAL
PROJECT NO: 0003	SHEET 1 OF 2

# THE SEASONS AT TIARA RADO FILING NO. 6

A portion of the SE 1/4 NW 1/4 and of the SW 1/4 NE 1/4 Section 27, Township 11 South, Range 101 West of the 6th Principal Meridian, Mesa County, Colorado



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
LC1	13°41'48"	326.00	77.93	39.15	N 81°31'12" E	77.75
LC2	14°36'40"	326.00	83.13	41.79	N 67°21'58" E	82.91
LC3a	02°44'51"	326.00	15.63	7.82	N 58°41'12" E	15.63
LC3b	78°09'29"	87.00	118.88	70.55	N 83°36'28" W	109.69
LC5	58°36'43"	48.00	48.10	26.94	N 15°13'23" W	46.99
LC7	139°36'21"	48.00	116.96	130.48	N 70°42'18" W	90.10
LC8a	37°29'14"	48.00	31.41	16.29	N 75°02'29" E	30.85
LC8b	81°06'50"	13.50	19.11	11.55	N 03°58'19" W	17.56
LC10a	78°09'29"	37.00	50.47	30.05	N 83°36'28" W	46.65
LC10b	14°46'36"	376.00	96.97	48.76	N 64°42'05" E	96.70
LC11	12°48'54"	376.00	84.10	42.23	N 81°57'39" E	83.92
LC12	28°18'45"	48.00	23.72	12.11	N 77°03'28" E	23.48
LC13	42°01'43"	48.00	35.21	18.44	N 87°46'18" W	34.43
LC14	44°05'56"	48.00	36.94	19.44	N 24°42'28" W	36.04
LC15	28°58'58"	48.00	24.28	12.41	N 11°49'59" E	24.02
LC16a	6°23'59"	48.00	56.46	32.01	N 80°12'27" E	53.26
LC16b	54°44'37"	13.50	12.90	6.99	N 66°21'09" E	12.41
LC17a	78°09'29"	48.00	65.90	39.33	N 23°34'09" E	60.85
LC17b	54°44'37"	13.50	12.90	6.99	N 11°36'31" E	12.41
LC20	52°05'24"	34.00	30.91	16.62	N 42°58'28" W	29.86
LC24	26°23'04"	48.00	22.10	11.25	N 37°49'38" W	21.91
LC25	110°50'05"	48.00	92.85	69.62	N 65°46'01" E	79.04
LC26a	64°50'43"	48.00	54.32	30.49	N 02°19'41" W	51.47
LC26b	81°06'50"	13.50	19.11	11.55	N 10°27'45" W	17.56
LC34	44°36'29"	84.00	65.40	34.46	N 24°56'56" W	63.76
TRCC	25°24'32"	48.00	21.29	10.82	N 26°47'15" E	21.11
TRCD	24°03'54"	48.00	20.16	10.23	N 46°47'00" W	20.01
TRCE	03°27'49"	376.00	22.73	11.37	N 73°48'18" E	22.73
TRCF	34°59'04"	48.00	29.31	15.13	N 07°08'34" W	28.86

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
T1	19.44	S44°31'44"E	T40	34.84	S40°15'59"W
T2	9.45	N48°01'38"E	T41	21.93	S47°55'38"W
T3	7.04	N39°58'02"E	T42	15.74	S48°30'00"W
T4	29.84	N42°18'30"E	T43	14.86	S39°15'29"W
T5	15.99	N32°47'14"E	T44	11.16	S25°52'34"W
T6	32.51	N32°47'14"E	T45	22.70	S25°52'34"W
T7	13.42	N64°30'18"E	T46	13.98	S26°32'27"W
T8	16.55	N64°27'54"E	T47	29.30	S33°40'27"W
T9	22.59	N70°25'04"E	T48	22.28	S32°53'34"W
T10	6.68	N86°56'12"E	T49	21.19	S25°23'34"W
T11	10.78	N86°42'13"E	T50	4.96	S24°14'26"W
T12	14.22	N53°55'41"E	T51	17.44	S42°49'20"W
T13	21.06	N57°09'30"E	T52	8.22	N44°31'44"W
T14	6.68	N74°28'10"E	T53	15.71	N42°49'20"E
T15	30.80	N86°38'44"E	T54	6.28	N24°14'26"E
T16	18.71	N74°57'08"E	T55	19.08	N24°16'39"E
T17	5.33	N74°52'04"E	T56	24.60	N31°51'33"E
T18	39.77	N61°21'08"E	T57	26.50	N25°25'06"E
T19	13.71	N42°32'24"E	T58	16.87	N25°25'06"E
T20	16.84	N42°50'52"E	T59	32.05	N25°23'23"E
T21	31.98	N50°55'43"E	T60	11.71	N36°48'08"E
T22	9.82	N46°28'15"E	T61	5.02	N29°12'19"E
T23	11.51	N46°44'16"E	T62	34.80	N48°14'17"E
T24	47.09	N41°42'21"E	T63	3.94	N39°28'54"E
T25	91.99	N38°05'05"E	T64	20.07	N37°59'03"E
T26	10.75	S77°01'38"E	T65	23.14	S86°53'55"W
T27	3.50	N87°12'58"E	T66	4.91	S83°45'15"W
T28	8.00	S47°47'05"E	T67	21.54	S56°09'40"W
T29	3.50	S02°47'05"E	T68	16.17	S52°40'14"W
T30	8.77	S45°04'34"E	T69	18.52	S84°58'03"W
T31	95.65	S43°37'55"W	T70	20.97	S89°20'26"W
T32	48.53	S44°20'03"W	T71	13.23	S63°00'01"W
T33	11.52	S50°47'50"W	T72	13.64	S62°59'20"W
T34	11.18	S50°37'57"W	T73	31.78	S31°29'55"W
T35	31.50	S53°08'22"W	T74	14.79	S31°04'23"W
T36	17.10	S46°21'48"W	T75	30.93	S30°08'06"W
T37	14.37	S46°02'04"W	T76	7.39	S39°58'02"W
T38	43.01	S63°52'37"W	T77	9.74	S48°01'38"W
T39	15.86	S78°15'19"W	T78	11.16	N44°31'44"W

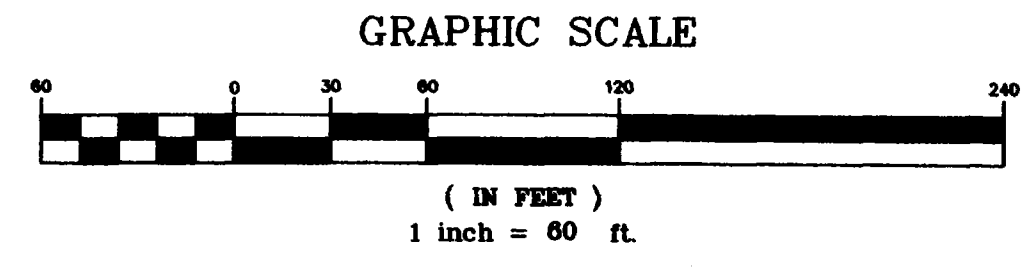
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
S1	78.14	N18°29'31"W	S33	16.77	N85°42'44"W
S2	30.82	N68°57'36"W	S34	10.38	S79°47'31"W
S3	13.57	N50°57'39"W	S35	7.25	S79°47'31"W
S4	31.43	S77°38'15"W	S36	20.87	S89°02'00"W
S5	17.86	N87°18'29"W	S37	42.70	S84°21'00"W
S6	14.16	N50°52'15"W	S38	26.48	S55°55'02"W
S7	19.85	S83°48'46"W	S39	16.98	S44°58'07"W
S8	5.43	S85°29'13"W	S40	32.88	S32°24'40"W
S9	17.84	S80°02'17"W	S41	56.74	S60°33'22"W
S10	26.16	S26°48'05"W	S42	17.36	S40°25'36"W
S11	15.76	S15°50'16"W	S43	2.28	S40°25'36"W
S12	22.88	S04°05'21"W	S44	1.59	S19°41'15"W
S13	18.82	S28°09'48"W	S45	35.09	S19°41'15"W
S14	16.48	N89°05'34"W	S46	6.61	S64°22'44"W
S15	3.12	N89°05'34"W	S47	4.02	N44°31'44"W
S16	10.54	N38°04'18"E	S48	16.34	N44°31'44"W
S17	11.18	N38°04'18"E	S49	7.54	N69°08'32"E
S18	12.59	N07°49'20"E	S50	32.08	N26°58'55"E
S19	8.39	N07°49'20"E	S51	21.63	N42°08'30"E
S20	19.05	N16°24'12"E	S52	29.19	N58°04'21"E
S21	2.62	N16°24'12"E	S53	24.09	N62°11'48"E
S22	28.77	N29°12'19"E	S54	5.99	N57°14'56"E
S23	19.67	N48°05'30"E	S55	29.45	N26°28'48"E
S24	10.42	N70°48'23"E	S56	24.21	N42°03'15"E
S25	22.57	N72°20'48"E	S57	19.42	N50°37'27"E
S26	15.40	S82°08'45"E	S58	25.37	S80°47'12"E
S27	17.23	N81°54'32"E	S59	60.70	S71°51'31"E
S28	15.24	N46°41'24"E	S60	32.29	S56°25'56"E
S29	15.01	N44°19'12"W	S61	37.59	S41°25'03"E
S30	36.51	N42°46'05"W	S62	17.16	S68°42'07"E
S31	25.40	N59°13'15"W	S63	37.27	S54°01'57"E
S32	64.92	N73°27'20"W	S64	36.14	S18°28'31"E

\* Flood Plain information derived from 'The Seasons at Tiara Rado Filing #6 Final Drainage Report', dated October 25, 2000, revised December 1, 2000, by WestWater Engineering, C. Kellie Knowles, Colorado P. E. 24778.

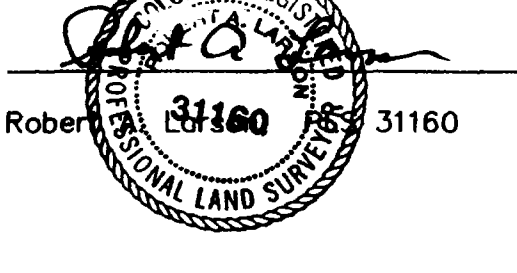
ACRES	PERCENT
LOTS	12.83 71%
TRACTS	3.15 17%
ROW	2.13 12%
TOTAL	18.11 100%

**BUILDING SETBACK REQUIREMENTS**  
Building setback requirements are shown on the Site Plan on file with the City of Grand Junction Community Development Department.

- LEGEND**
- Found BLM brass cap survey monument
  - Found 2" alum. cap on #5 rebar PLS 10097
  - Found or Set 2" alum. cap on #5 rebar PLS 31160
  - Formed or found concrete around monument
  - Lot corners to be set within one year of sale
- Note: Monuments found within 0.25' of record are accepted as being in position of record.



**SURVEYOR'S STATEMENT:**  
I, Robert A. Larson, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plan of THE SEASONS AT TIARA RADO FILING NO. 6, was prepared from a survey performed by me or under my direct supervision, and is correct to the best of my knowledge and information.



2-3-01 Date

**BASIS OF BEARING**  
The bearing between the C 1/4 corner and C-E 1/16 corner of Section 27, Township 11 South, Range 101 West, 6th Principal Meridian, both BLM brass caps, bears S89°05'34"E as indicated on the plot of The Seasons at Tiara Rado Filing No. 5.

**NOTICE:**  
According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Merritt IS, L.L.C.  
2004 N. 12th St., #4, Grand Junction, CO. 81501  
PHONE (970) 255-7386 FAX (970) 243-8515

**THE SEASONS AT TIARA RADO FILING NO. 6**  
SW 1/4 NE 1/4 & SE 1/4 NW 1/4 Section 27  
Township 11 South, Range 101 West  
6th Principal Meridian  
Mesa County, Colorado

DATE: January 24, 2001	SCALE: 1" = 60'	
DRAWN: TWS	CHK: RAL	PROJECT NO: 0003
REVISED: -	SHEET: 2 OF 2	

**Notes to Site Plan**

1. This Site Plan for Filing No. 6, The Seasons at Tiara Rado Subdivision, together with any building, landscaping and other improvements occurring within the boundaries of this Site Plan are also subject to:
  - a. The Mesa County Building Code
  - b. The City of Grand Junction Development Code, November 1996 Edition
  - c. The Declaration of Covenants, Conditions and Restrictions of the Master Subdivision of The Seasons at Tiara Rado, together with all Amendments and Supplements (the "Master Covenants")
  - d. The Design Review Committee for The Seasons at Tiara Rado Subdivision (the "DRC")
  - e. The Plat for Filing 6, The Seasons at Tiara Rado Subdivision
2. Homes must be built in strict accordance with the design guidelines as set forth in the Master Covenants or as set forth in any supplemental design guidelines as adopted by the Master Association. Written approval from the DRC is required before application can be made for a building, wall or fence permit; and before construction of landscaping is commenced.
3. The southeast wall for the principal buildings on Lots 26 through 34 shall be set a distance of 4 feet from the respective southeast property lines. The principal buildings shall include at least 50 lineal feet of building wall along these southeasterly building setback lines.
4. Lots 26 through 34 - Stucco walls, at least 5 feet in height, will be constructed from the southeast corner of the principal building, 4 feet from the southeasterly property line, to the front Multi-purpose Easement Line. Stucco walls, 6 feet in height will be constructed from the northeast corner of the principal building, 4 feet from the southeasterly property line, to the rear property line. The wall will step down to 4 feet in height within four feet of the rear property line. A stucco wall is permitted along the rear (northerly) property line that is no more than 4 feet in height. A gate or opening in the rear wall no wider than 5 feet is permitted.
5. The Drainage Easements along the south end of Filing No. 6 that adjoins Shadow Rock Court and Lots 1, 2 and 3 shall be kept in its natural condition. No building, wall, fence or other structure shall be permitted to be placed any closer than 10 feet from the natural banks of this Drainage Easement. Retaining walls and driveway culverts along the natural banks are permitted as shown. Additional retaining walls along the Draining Easement Boundary are permitted if approved by the DRC.
6. No individual, free standing mail boxes or newspaper boxes are permitted. All lots will use "cluster mail boxes" to be provided by the US Postal Service.
7. Refer to the recorded Plat for The Seasons at Tiara Rado, Filing No. 6 for all bearings and distances. Where differences exist between this Site Plan and the Plat, the Plat controls.
8. Building heights are measured from the building corner with the highest natural grade to the top of the highest ridge line or top of the highest parapet. See the Master Covenants for additional requirements.
9. No buildings, structures, walls or fences shall be built within the Multi-purpose Easement nor within any Sight Easement.
10. Engineered foundations will be required for any Lot in Filing 6.
11. Planning Clearance for building permits will require individual lot drainage and storm water management plans. To the extent practical, drainage will not be permitted onto adjoining lots, but instead should be diverted to defined drainage areas or streets. Typical lot drainage to include swales between building envelopes to divert runoff from adjacent lots away from building envelopes. Private fences, landscaping, etc. shall not inhibit runoff from higher lots onto lower lots. After construction has commenced on any lot, owners will be responsible for controlling runoff and treatment of sediment loadings prior to discharge to the street, other lot, or any other off lot drainage ways including silt fences as may be necessary (refer to Sheet 17, Storm Water Management Plan).
12. Driveway cuts along vertical curb and gutter for Lots 10 and Lot 11 to be constructed by respective home owners of each lot when location of driveway is known. All future driveway cuts to be in accordance with City of Grand Junction Standards.
13. Owners of Lots on which Exclusive Easements are located shall have right of entry and access to Exclusive Easement area to maintain facilities associated with each Owner's home (i.e., building, walls, fences, etc.). Owners of Lots on which Exclusive Easements are located will take all precautions within a normal standard of care to protect all landscaping while accessing and working in the Exclusive Easement area.
14. Stipulations regarding the Exclusive Easements applies to Lot 7 of The Seasons at Tiara Rado Filing 5 and Lots 26 thru 34 of this said Filing 6.
15. All construction shall be in accordance with City of Grand Junction Standards and Specifications.

**Standards For Principal Buildings**

	LOTS 1 thru 25	LOTS 26 thru 34
Minimum Building Set-Back Requirements (feet from property line)		
Front	As Shown	20
Southeast Side	As Shown	Note 3
Northwest Side	As Shown	15
Rear	As Shown	10
Maximum Building Height (feet)	22	18
Maximum Wall and Fence Height (feet), exclusive of archways	6	6
Minimum Floor Area (exclusive of garages, patios, decks and unfinished basements)	2200 sq ft	1900 sq ft
Maximum Foundation Footprint Including Garage	5000 sq ft	3500 sq ft
Number of Living Levels Above Highest Natural Building Envelope Grade	1	1
Minimum Wall and Fence Set-back (feet from property line)		
Sides with Multi-purpose Easements	15	15
Other Sides	10	Note 4
Driveways		
Maximum driveway entrances	3	2
Maximum driveway pavement width at curb per entrance	25 feet	25 feet
Offstreet Parking (assumed vehicle length - 14 feet)		
Minimum required per Lot, including garage	4	4
Minimum in garages	2	2

NOTE: Supplement No. 6 of the Master Covenant contains additional building and design standards.

**LAND USE SUMMARY**

	ACRES	PERCENT
LOTS	12.85	71.0%
TRACTS A-F	3.15	17.4%
R.O.W.	2.11	11.6%
TOTAL	18.11	100.0%

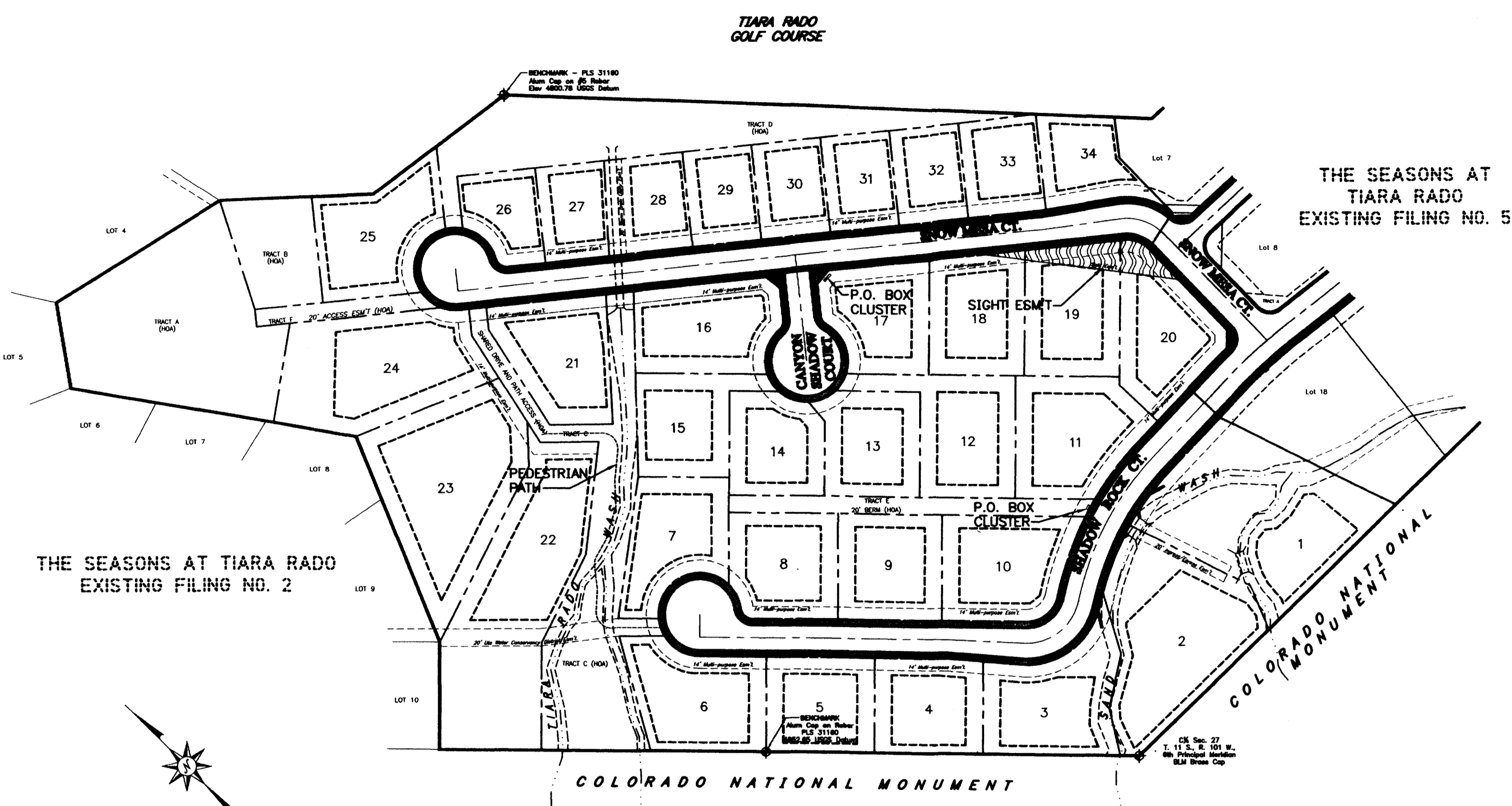
**CLERK AND RECORDER'S CERTIFICATE**

STATE OF COLORADO }  
COUNTY OF MESA }SS

I hereby certify that this instrument was filed in my office at 4:29 o'clock P.M. this 15<sup>th</sup> day of March A.D., 2004, and is duly recorded in Plat Book No. 18, Page 111

Reception No. 1985630 Drawer No. JJ84

\_\_\_\_\_  
Clerk and Recorder Deputy Fees



**LEGEND**

NEW PROPERTY LINE	-----	SURVEY MARKER	⊙
EXISTING PROPERTY LINE	-----	UTILITY PED	○
RIGHT-OF-WAY	-----	CLUSTER MAIL BOX	○
RETAINING WALL	=====	INDEX CONTOUR	~~~~~
CONCRETE SIDEWALK, CURB & GUTTER	=====	INTERMEDIATE CONTOUR	~~~~~
EASEMENT LINE	-----	DRAINAGE	~~~~~
BUILDING ENVELOPE	-----	DRAINAGE EASEMENT	-----

SCALE: HORIZONTAL 1"=100'  
VERTICAL N/A

REVISIONS	DATE
ADDRESS CITY COMMENTS	12-01-00
ADDRESS CITY COMMENTS	12-15-00

**WestWater Engineering**  
2516 Foresight Circle, #1  
Grand Junction, CO 81505  
(970) 241-7076

**THE SEASONS AT TIARA RADO FILING NO. 6**

**SITE PLAN**

Design by:	Drafted by:	Date:	Project No.	Sheet
STL	PRD	10-00	0042	4 of 26