

# FOUNTAIN GREENS TOWNHOMES 3 SUBDIVISION

## DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That Skelton Construction, Inc., a Colorado Corporation, is the owner of that real property located in part of the Southeast Quarter (SE1/4) of Section 33, Township 1 North, Range 1 West of the Ute Meridian, Mesa County, Colorado, as recorded in Warranty Deed Book 2768, Page 523, Mesa County records, being more particularly described as follows:

Lot 8, Block 1, Fountain Greens Subdivision, as recorded in Plat Book 17, Pages 237 through 238, Mesa County Records.

That said owners have caused the real property to be laid out and platted as Fountain Greens Townhomes 3 Subdivision, a subdivision of a part of the City of Grand Junction, Colorado.

IN WITNESS WHEREOF, said owners, Skelton Construction, Inc., a Colorado Corporation, has caused their names to be hereunto subscribed this 29 day of JAN., A.D. 2001.

by Yap Skelton  
for: Skelton Construction, Inc., a Colorado Corporation

## NOTARY PUBLIC'S CERTIFICATE

STATE OF COLORADO } ss  
COUNTY OF MESA }

The foregoing instrument was acknowledged before me by Doug Skelton for Skelton Construction, Inc., a Colorado Corporation, this 29th day of January, A.D., 2001.

Witness my hand and official seal:

Kevin J. Jones  
Notary Public  
My Commission Expires 7-8-2003



## CITY OF GRAND JUNCTION APPROVAL

This plat of Fountain Greens Townhomes 3 Subdivision, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this 29 day of January, A.D., 2001.

City Manager David Volney  
City Mayor Gene Binney

## CLERK AND RECORDER'S CERTIFICATE

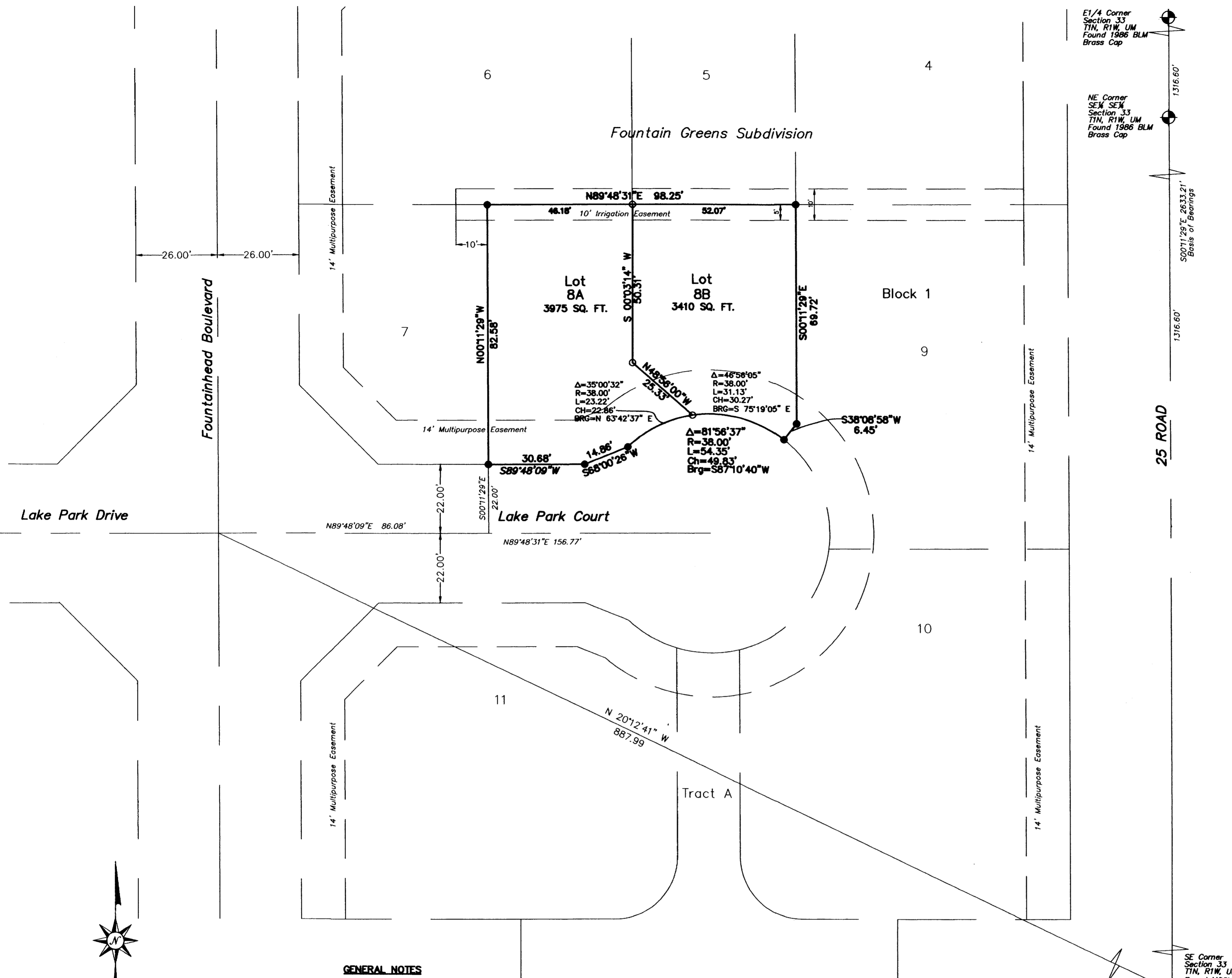
STATE OF COLORADO } ss  
COUNTY OF MESA }

I hereby certify that this instrument was filed in my office at 1:27 o'clock P.M.,

January 31, A.D., 2001, and was duly recorded in Plat Book 15, Page No. 91

Reception No. 1981923 Drawer No. 99-69 Fees: 10.00

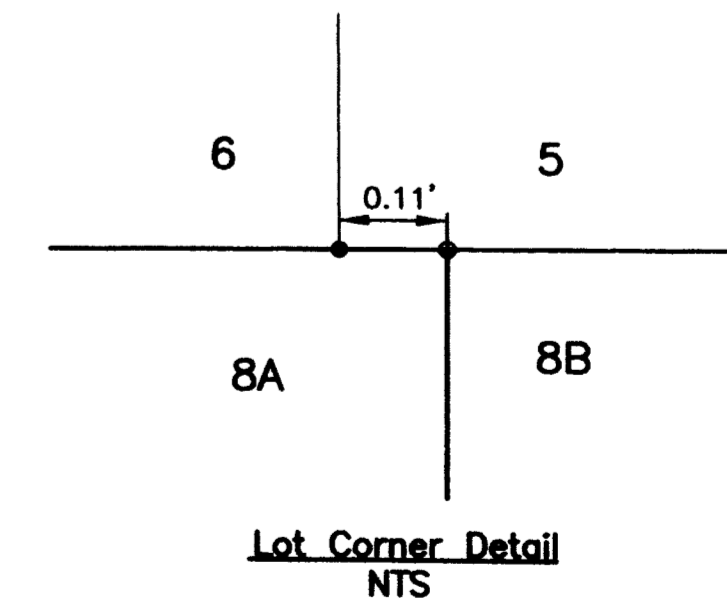
By: \_\_\_\_\_  
Clerk and Recorder Deputy



### GENERAL NOTES

- Basis of bearings assume the East line of the SE1/4 of Section 33 to bear South 00 degrees 11 minutes 29 seconds East, a distance of 2633.21 feet. Both monuments on this line are Mesa County Markers as shown on the accompanying plat.
- Easement and title documents (schedules A&B) provided by First American Title Company, Title policy No. 00139109.
- Existing property corners which were recovered during this survey which were within 0.25± feet of the calculated position were accepted as being "in position".
- Fountain Greens Townhomes 1 Subdivision is subject to the Declaration of Covenants and Restrictions for Fountain Greens Subdivision recorded at Book 2667, Pages 1 through 45, Mesa County Records.
- Further information about the project can be found in the City of Grand Junction Community Development Department file number #PPP-1999-183.
- See recorded "Building Envelope Sitting Plan" for Fountain Greens Subdivision, as recorded in Plat Book 17, Pages 237 through 239, for building foundation, setback, and zoning requirements.
- All easements and rights-of-way, as shown, are from recorded plat of Fountain Greens Subdivision, as recorded in Plat Book 17, Pages 237 through 239.
- Ratification of Plat by Lien holder (Bank of Colorado-Western Slope) is Recorded in Book 2792, Page 593, Mesa County records.

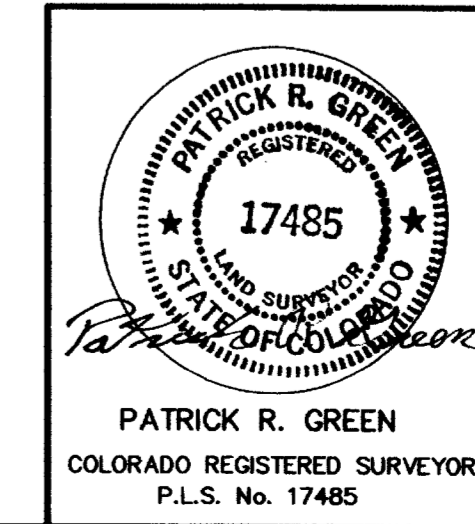
AREA SUMMARY		
LOTS	=	7385sf 100%
TOTAL	=	7385sf 100%



### SURVEYOR'S CERTIFICATION

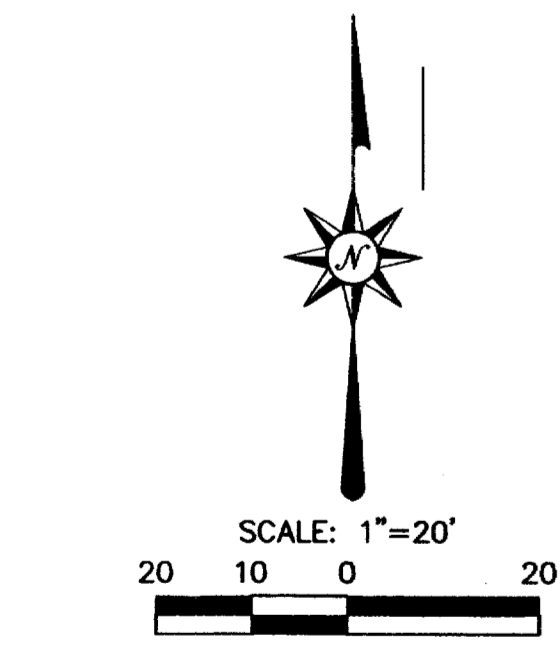
I, Patrick R. Green, do hereby certify that the accompanying plat of Fountain Greens Townhomes 3 Subdivision, a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of same. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

Date certified JAN 29, 2001



**FOUNTAIN GREENS TOWNHOMES 3 SUBDIVISION**  
REPLAT OF LOT 8, BLOCK 1  
FOUNTAIN GREENS SUBDIVISION  
CITY OF GRAND JUNCTION  
MESA COUNTY, COLORADO

<b>LANDesign</b>				
ENGINEERS SURVEYORS PLANNERS				
244 North 7th Street GRAND JUNCTION, COLORADO 81501 (970) 245-4099				
PROJ. NO. 2000-88	SURVEYED	DRAWN	CHECKED	SHEET
DATE: DEC, 2000	RM	TLP	JA-B	1



- ### LEGEND
- ALLOTMENT SURVEY MARKER, AS NOTED
  - SET ALUMINUM CAP ON No. 5 REBAR, PLS 17485 IN CONCRETE PER CRS-38-51-105
  - SET ALUMINUM CAP ON No. 5 REBAR, PLS 17485
  - SET 2" ALUM. CAP ON No. 6 REBAR, PLS 17485
  - FOUND REBAR, AS NOTED
- ALUMINUM CAP ON No. 5 REBAR TO BE SET PRIOR TO SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH CRS-38-51-105

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.