

FOUNTAIN GREENS TOWNHOMES 2 SUBDIVISION

REPLAT OF LOT 1, BLOCK 2
FOUNTAIN GREENS SUBDIVISION
CITY OF GRAND JUNCTION
MESA COUNTY, COLORADO

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That TML Enterprises, Inc., a Colorado Corporation, is the owner of that real property located in part of the Southeast Quarter (SE1/4) of Section 33, Township 1 North, Range 1 West of the Ute Meridian, Mesa County, Colorado, being more particularly described as follows: (Warranty Deed Book 2756, Page 714.)

Lot 1, Block 2, Fountain Greens Subdivision, as recorded in Plat Book 17, Pages 237 through 238, Mesa County Records.

That said owners have caused the real property to be laid out and platted as Fountain Greens Townhomes 2 Subdivision, a subdivision of a part of the City of Grand Junction, Colorado, that said owner does hereby dedicate and set apart real property as shown and labeled as the accompanying plat of Fountain Greens Subdivision as follows:

IN WITNESS WHEREOF, said owners, TML Enterprises, Inc., a Colorado Corporation, has caused their names to be hereunto subscribed this 15th day of February, A.D. 2001.

Thomas Laduke
by: Thomas Laduke, President
for: TML Enterprises, Inc., a Colorado Corporation

NOTARY PUBLIC'S CERTIFICATE

STATE OF COLORADO } ss
COUNTY OF MESA

The foregoing instrument was acknowledged before me by Thomas Laduke, President, for TML Enterprises, Inc., a Colorado Corporation, this 15th day of February, A.D., 2001. Witness my hand and official seal:

Kimberly D. Nelson
Notary Public
My Commission Expires 7-8-2003

CITY OF GRAND JUNCTION APPROVAL

This plat of Fountain Greens Townhomes 2 Subdivision, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this 23rd day of February, A.D., 2001.

City Manager *[Signature]*
City Mayor *Bene Brunsay*

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO } ss
COUNTY OF MESA

I hereby certify that this instrument was filed in my office at 4:28 o'clock P. M., March 1, A.D., 2001, and was duly recorded in Plat Book 18, Page No. 108

Reception No. 1985629 Drawer No. JK-83 Fees: 10.00

By: _____
Clerk and Recorder Deputy

Lienholder's Ratification of plat

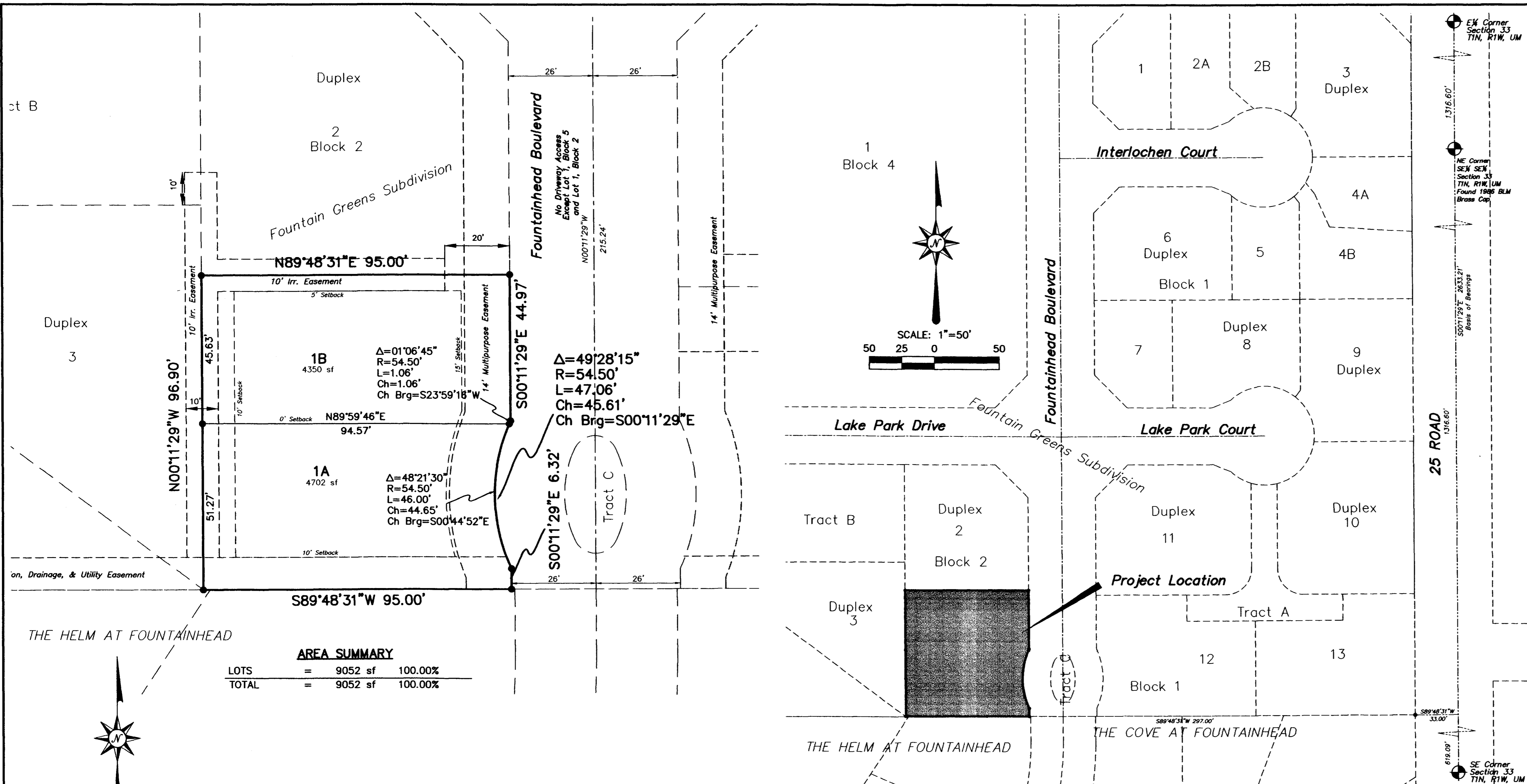
by Home Savings Bank is recorded in Book 2796, Page 970, Mesa County records.

SURVEYOR'S CERTIFICATION

I, Patrick R. Green, do hereby certify that the accompanying plat of Fountain Greens Townhomes 2 Subdivision, a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of same. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

Date certified February 1, 2001

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| | FOUNTAIN GREENS TOWNHOMES 2 SUBDIVISION REPLAT OF LOT 1, BLOCK 2 FOUNTAIN GREENS SUBDIVISION CITY OF GRAND JUNCTION MESA COUNTY, COLORADO | |
| | LANDesign ENGINEERS • SURVEYORS • PLANNERS 244 North 7th Street GRAND JUNCTION, COLORADO 81501 (970) 245-4099 | |
| PATRICK R. GREEN COLORADO REGISTERED SURVEYOR P.L.S. No. 17485 | PROJ NO 2000-88 SURVEYED DRAWN CHECKED SHEET OF DATE: Jan., 2001 LED/RM RSK 1 1 | |



AREA SUMMARY

| | | | |
|-------|---|---------|---------|
| LOTS | = | 9052 sf | 100.00% |
| TOTAL | = | 9052 sf | 100.00% |

GENERAL NOTES

- Basis of bearings assume the East line of the SE1/4 of Section 33 to bear South 00 degrees 11 minutes 29 seconds East, a distance of 2633.21 feet. Both monuments on this line are Mesa County Markers as shown on the accompanying plat.
- Easement and title documents (schedules A&B) provided by First American Title Company, Title policy No.
- Existing property corners which were recovered during this survey which were within 0.25± feet of the calculated position were accepted as being "in position".
- Fountain Greens Townhomes 2 Subdivision is subject to the Declaration of Covenants and Restrictions for Fountain Greens Subdivision recorded at Book 2667, Pages 1 through 45, Mesa County Records.
- Further information about the project can be found in the City of Grand Junction Community Development Department file number #FPP-1999-183.
- All easements and rights-of-way, as shown, are from recorded plat of Fountain Greens Subdivision, as recorded in Plat Book 17, Pages 237 through 239.
- All building foundations will require an Engineered Design by a Colorado Registered Professional Engineer.
- On double frontage and corner lots, fences up to four feet in height may be placed on the property line along the street, except in the front yard setback along the street the home faces. Fences in those front yards must comply with the City of Grand Junction Zoning and Development Code requirements. Exception: No fence is allowed along 25 Road in the building setback, except the wrought iron fence on the property line provided by the developer and fences four feet in height on side property lines that connect with the developer provided fence at right angles. Fences up to six feet in height may be placed on the lot outside the building setback.
- Bulk Requirements:
Setbacks are as shown on the Building Envelope Siting Plan for Fountain Greens Subdivision with the following exceptions:
 - 20 feet setback minimum to all garages.
 - No side setback required for common wall on duplex lots. Five foot setback required for all other side yards.
 - Accessory structure setbacks the same as principal structure setbacks.
 - Maximum 45% lot coverage for all blocks.
 - Maximum building height 32 feet - Block 1-3, 36 feet - Block 4.

LEGEND

- ALIQUOT SURVEY MARKER, AS NOTED
 - SET ALUMINUM CAP ON No. 5 REBAR, PLS 17485 IN CONCRETE PER CRS-38-51-105
 - ◆ SET 2" ALUM. CAP ON No. 6 REBAR, PLS 17485
 - FOUND REBAR, AS NOTED
- ALUMINUM CAP ON No. 5 REBAR TO BE SET PRIOR TO SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH CRS-38-51-105

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.