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File 1982-0063
Date 7/25/02

Project Name: Walker Field – Restaurant Concession-Conditional Use

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the in some instances, not all entries designated to be scanned by the department are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been provided.</p> <p>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</p> <p>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</p>
X	X	*Summary Sheet – Table of Contents
X	X	Review Sheet Summary
		Application form
		Review Sheets
		Receipts for fees paid for anything
		*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map
		Evidence of title, deeds
X	X	*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
X		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or nonbound reports
		Traffic studies
		Individual review comments from agencies
		*Consolidated review comments list
		*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions
		*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)
<u>DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:</u>		
X	X	Action Sheet
X	X	Review Sheet Summary
X		Review Sheets
X		Letter from Bennett Boeschstein to Ronald Young re: approval 10/26/82
X	X	Planning Commission Minutes - ** - 10/26/82
X		Development Application – 9/21/82
X	X	General Building Area Development Plan
X	X	Impact Statement
X		Airport Lease and Agreement
X	X	List of Property Owners
X		Airport Parking Plan
X	X	Floor Plan

WALKER FIELD/GRANDMET SITE SERVICES, INC.
APPLICATION FOR CONDITIONAL USE

ENVIRONMENTAL IMPACT STATEMENT

INTRODUCTION:

Location: Within new Walker Field new terminal.

Use: Restaurant lounge facility with full service menu including full beverage service.

Operator/Applicant: Grandmet Site Services, Inc.
420 E. 58th Ave., Suite 142
Denver, CO 80216

SUMMARY:

The proposed facility shall be known as The Aspen Tree. It is a restaurant/lounge facility featuring a full service food and beverage menu. Its primary clientele will be the traveling public using Walker Field; thus, it is an accessory use to the airport operation.

The Aspen Tree is being designed from its conception as a high quality restaurant. The Airport Authority and the people of Grandmet have been striving to develop a concept that puts forth this high quality image -- an image that is especially important given that the airport will be the first close-at-hand experience with the City of Grand Junction.

In addition, The Aspen Tree will provide the community with an additional high quality restaurant--a restaurant with a special setting.

PROFILE:

The Aspen Tree is to be located within the newly constructed Walker Field airport terminal. As such, it will have virtually no external impact. The facilities of the new terminal will be used.

Flood hazard report, grading and drainage, trash receptacle location, zoning and uses, setbacks, buffering/screening, bike racks, building heights/elevations/dimensions, access dimensions, parking, landscaping, lighting details, directional flows, signage, ingress/egress, easements, right of way requirements, and all other details are as found on the Walker Field application.

WALKER FIELD/GRANDMET SITE SERVICES, INC.
APPLICATION FOR CONDITIONAL USE
Page 2

ENVIRONMENTAL IMPACT STATEMENT continued

RESTAURANT DETAIL:

Hours of Operation: The restaurant shall be open on a 24-hour basis in order to provide maximum benefit to the area residents and the traveling public. Beverage service will be in compliance with state law. will be in compliance with state law.

Number of Employees: The number of employees is anticipated to be a maximum of 40 for all functions of the restaurant.

Seating Capacity: Restaurant - 217
Lounge - 60 (estimated)

GRANDMET SITE SERVICES, INC.

By 

Regional Manager

MAILING LIST
FOR ADJ. PROPS OWNER

Bruce c. Currier
2760 H Road
Grand Junction, Colo.
81501

#63-82

M. & L. Singh
2124 Manor Avenue
Grand Junction, CO

#63-82

J.F.&E. Burkhalter
c/o Burkhalter Engr.
588 25 Road
Grand Junction, CO
81501

#63-82

* Walker Field Airport
2828 H. Road.
Grand Jct. CO 81501

#63-82

Edward J. & M.E. Currier
832 25 Road
Grand Junction, Colo.
81501

#63-82

Mesa County
Bd of County Commissioners
County Building
Grand Junction, Co. 81501

#63-82

State of Colorado
Department of Highways
606 S. 9 th
Grand Junction, CO
81501

#63-82

Grandmet Site Services
420 E. 58th Ave. S. 142
Denver, CO 80216

#63-82

Allan R. Jones
688 27 1/2 Road
Grand Junction, Colo.
81501

#63-82

Bureau of Land Management
1600 Broadway, room 700
Denver, Colorado 80202
Dale Andrus, State Dir.

#63-82

Robert E. Wicker
19506 Gulf Blvd.
Indian Rock Beach, FL 33535

#63-82

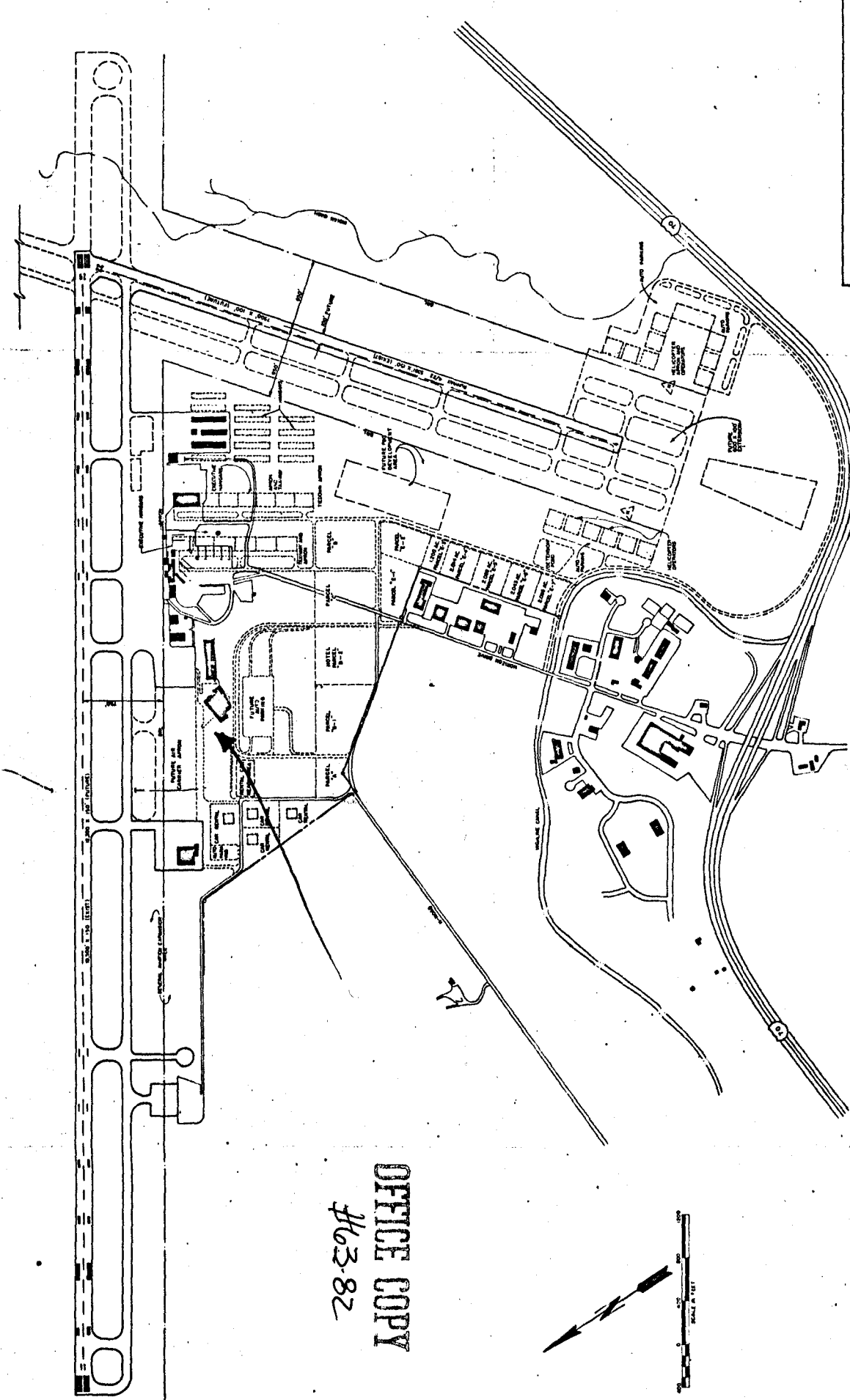
* Rick DeWitt
3400 S. Elati St.
Englewood, CO 80110

#63-82


PARCEL NO.

PROPERTY OWNER

002	Currier, Bruce C. 2760 H Road Grand Junction, CO 81501
003	Currier, Edward J. & M.E. 832 25 Road Grand Junction, CO 81501
001	"
002A	"
006	"
007	"
2	Jones, Allan R. & others 688 27 1/2 Road Grand Junction, CO 81501
1	Singh, M. & L. 2124 Manor Avenue Grand Junction, CO 81501
933	Mesa County Mesa County Courthouse Grand Junction, CO 81501
397	Burkhalter, J.F. & E. C/O BURKHALTER ENGINEERING 588 25 ROAD GRAND JUNCTION, CO 81501
083	Wicker, Robert E.
924	State of Colorado Highway Dept. 606 S. 9th. GRAND JUNCTION, CO. 81501 Bureau of Land Management 1600 Broadway, Room 700 Denver, CO 80202 Dale Andrus, State Dir.
North of Airport Adjacent to Currier	



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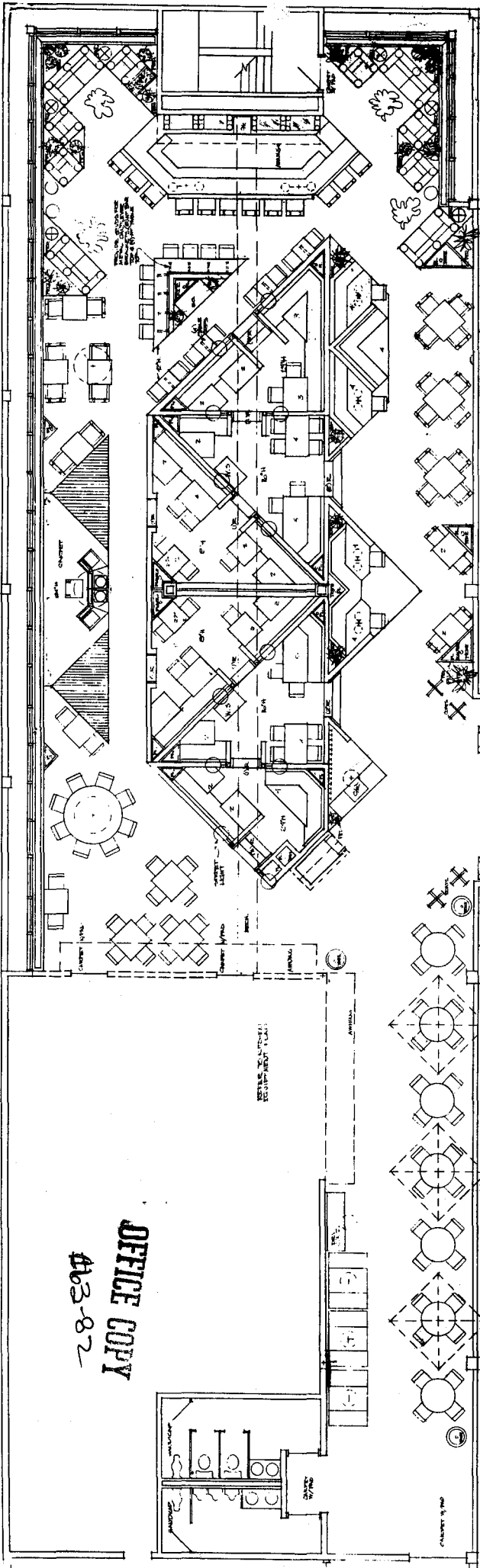

ISBRILL ASSOCIATES, INC.
 AIRPORT CONSULTANTS • DENVER, COLORADO

DEX J.E.S.
DA J.R.B.
DA W.S.
APP H.C.I.

WALKER FIELD
GRAND JUNCTION, COLORADO
 GENERAL BUILDING AREA DEVELOPMENT
 PLAN

DATE APRIL 26, 1982 EXHIBIT

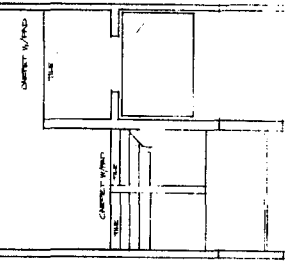
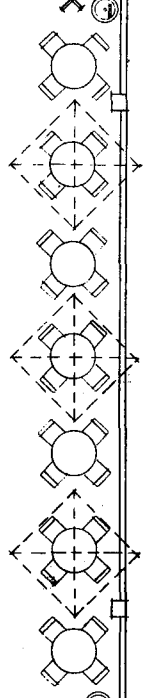
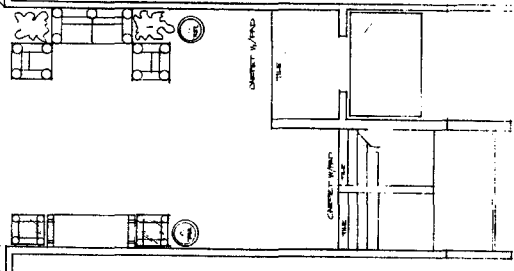
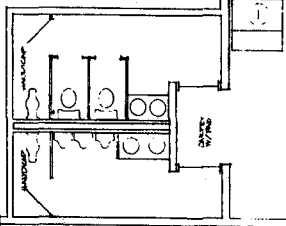
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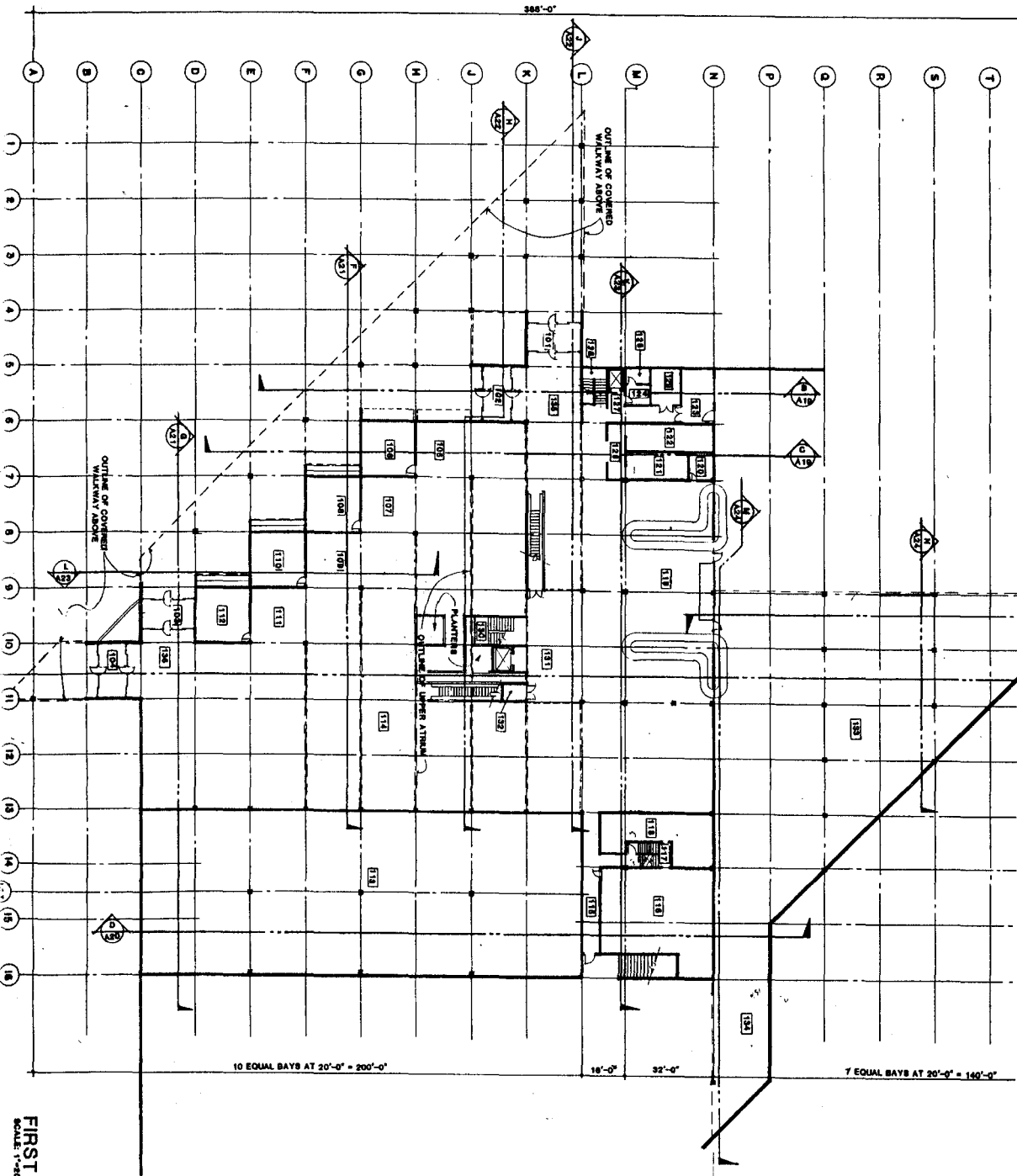


CAPACITY
 TABLES 48
 SEATING 49
 TOTAL 217
 RESTAURANT EQUIPMENT

RESTAURANT EQUIPMENT
 172 SQ FT
 172 SQ FT

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 463-82



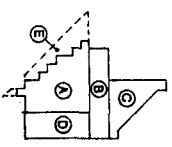


FIRST FLOOR PLAN

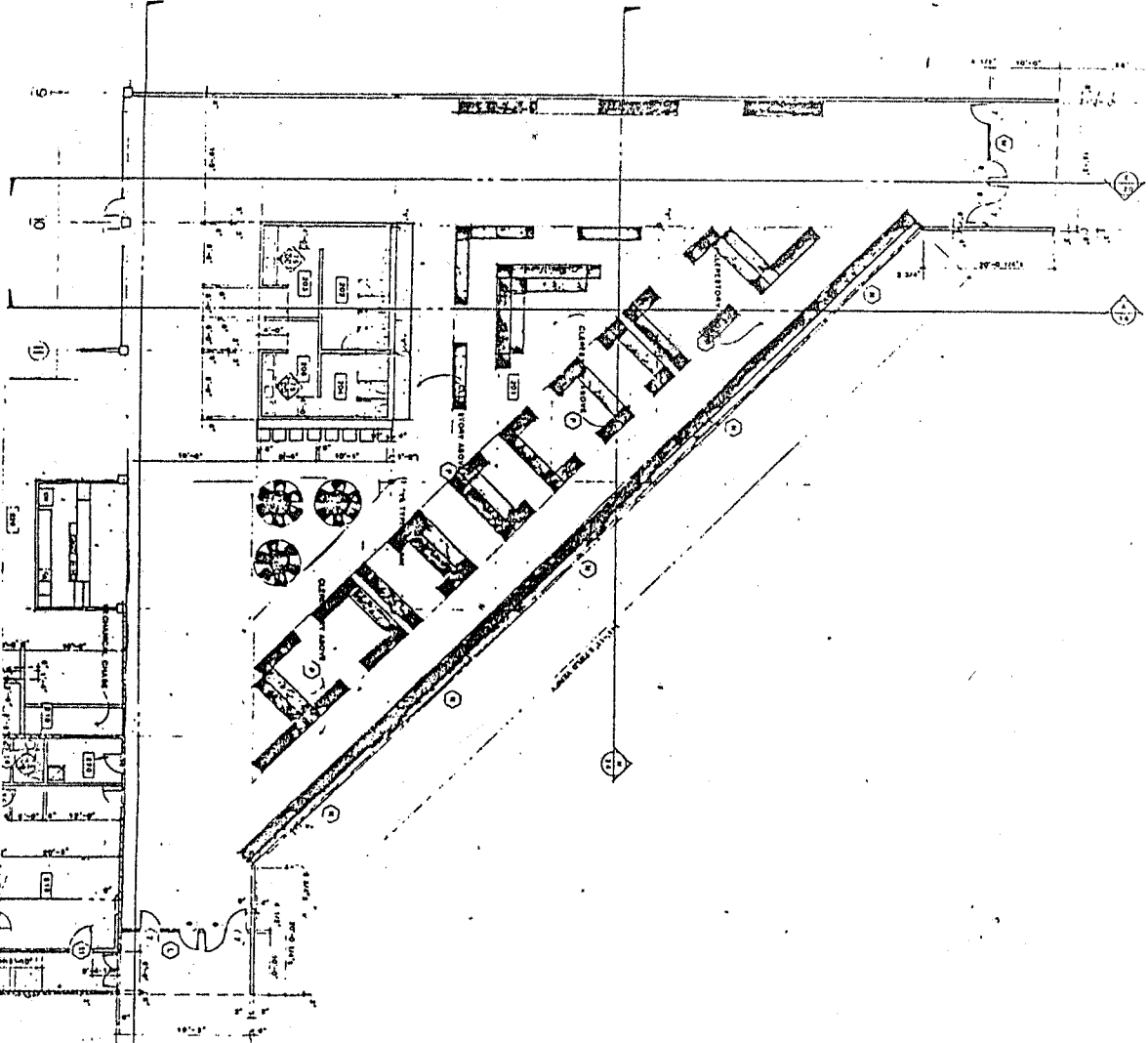
SCALE: 1/8" = 1'-0"

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- KEY: 1/8" FLOOR PLANS
- ① DRAWING A6
 - ② DRAWING A7
 - ③ DRAWING A8
 - ④ DRAWING A9
 - ⑤ DRAWING A10



V-1
D
T
F
E
R
P
N



MATERIAL LEGEND

--- MATCH STUDS CONNECTION TO FLOOR OR SLAB

--- CASE IN ALICE CONNECTION TO FLOOR OR WALL

--- EXPOSED CONCRETE CONNECTION TO FLOOR OR WALL


• EXPOSED CONCRETE SURFACE

--- METAL BOARD


--- BRICKWORK MATCH LINE

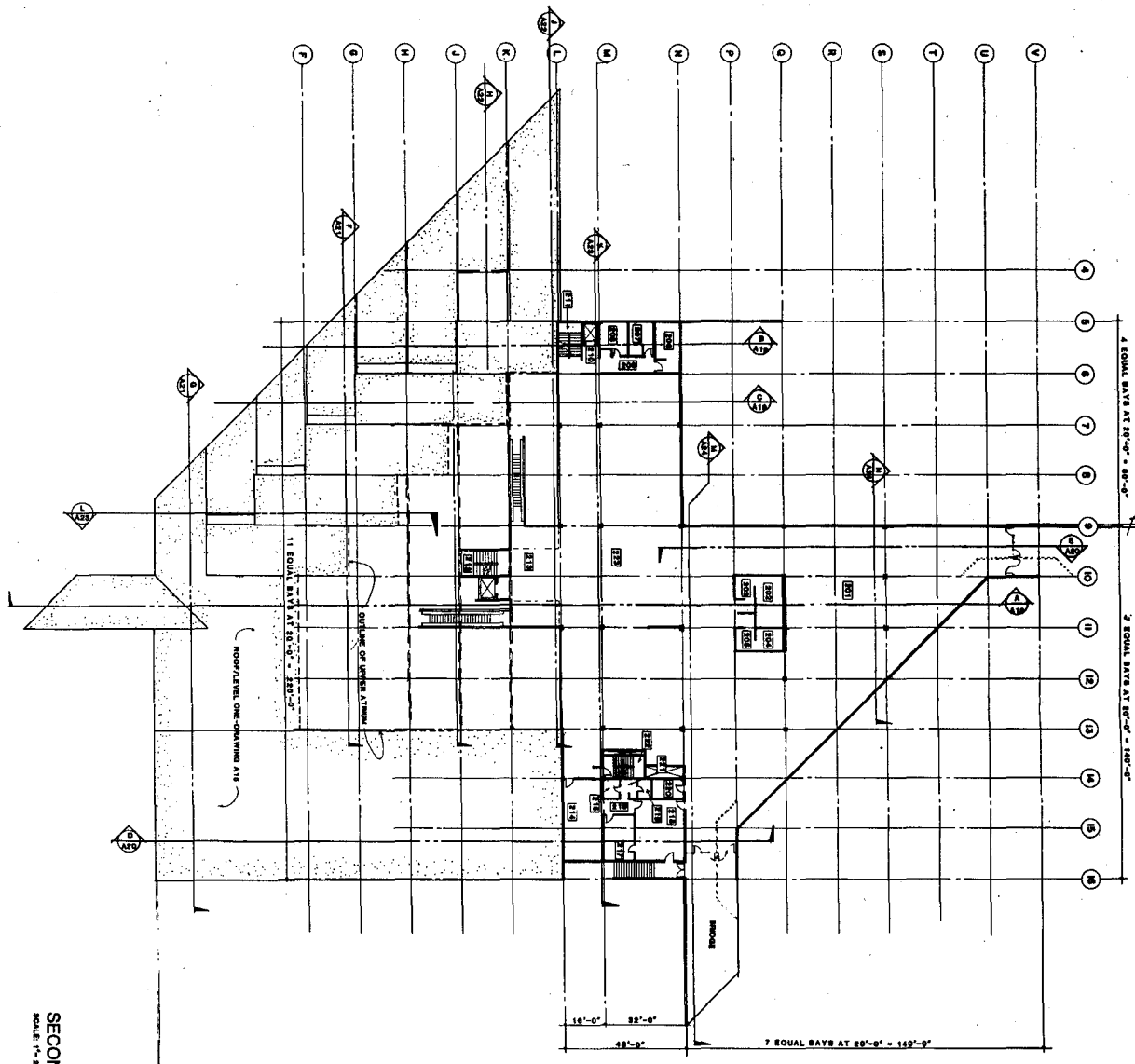
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110282

SECOND FLOOR PLAN - AREA "C"
(110282)


TERMINAL BUILDING
WALKER FIELD
 GRAND JUNCTION, COLORADO

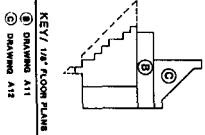
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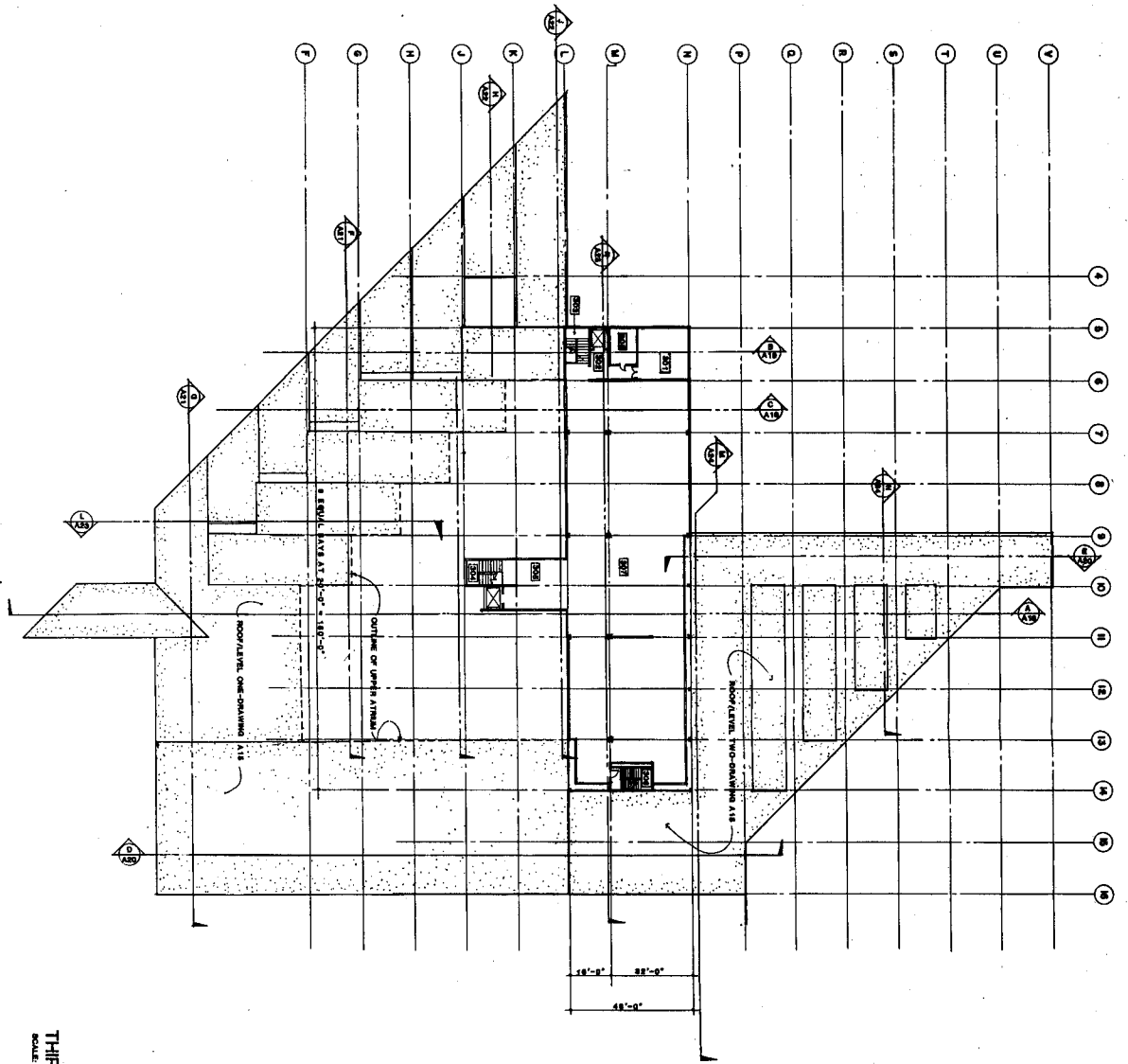


SECOND FLOOR PLAN
SCALE: 1" = 20'-0"

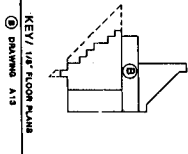
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A4	JOHN PORTER ARCHITECTS/PLANNERS 50 WALKER AVENUE, SUITE 100 GRAND JUNCTION, COLORADO	TERMINAL BUILDING WALKER FIELD GRAND JUNCTION, COLORADO	PROJECT DRAWN: JAP/MS CHECKED: JAP REVISIONS	
		PROJECT DRAWN: JAP/MS CHECKED: JAP REVISIONS		

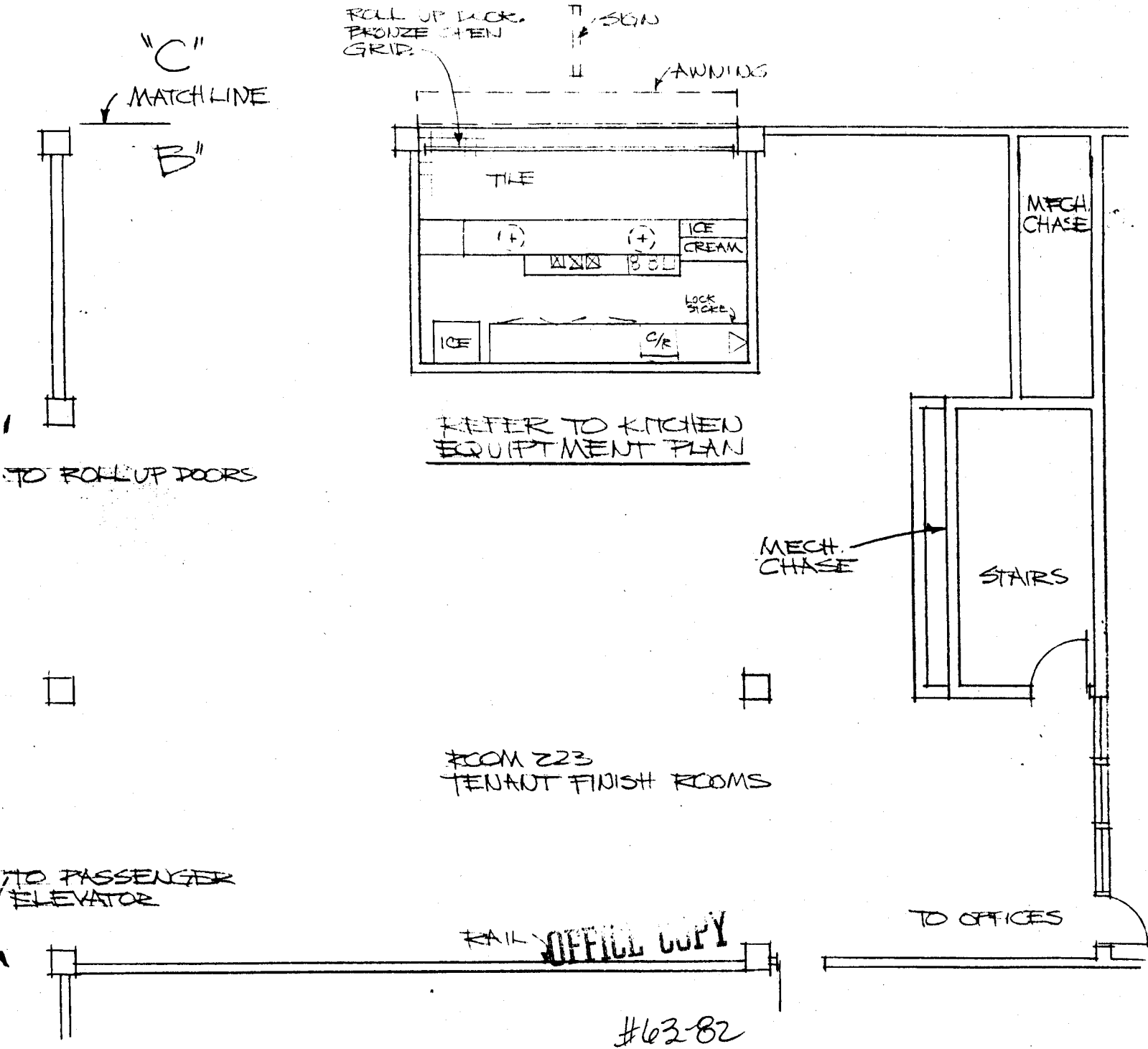


THIRD FLOOR PLAN
SCALE: 1" = 32'-0"



OFFICE COPY
#103-82

<p>A5</p>	<p>JOHN POTTER ARCHITECTS/PLANNERS 300 WALKER FIELD ROAD GRAND JUNCTION, COLORADO</p>		<p>TERMINAL BUILDING WALKER FIELD GRAND JUNCTION, COLORADO</p>	<p>PROJECT DRAWN ASSISTANT CHECKED JWP REVISIONS</p>	
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BAR SCALE 1/8" = 1'-0"

2ND FLOOR WALKER FIELD
GRAND JUNCTION, COLORADO

Owner
Address
Date

Sheet title FLOOR PLAN
Design by
Date

dh
m

D.H. MARSHALL DESIGN
803 E. KETTLE PL.
ENGLEWOOD, COLO.
(303) 779-1600



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

October 24, 1991

Mr. Ronald E. Young
2846 Elm Avenue
Grand Junction, CO 81501

Dear Mr. Young:

A Conditional Use Permit for Liquor License was approved for the restaurant and lounge facilities located in the Walker Field Airport terminal building in 1982. The Permit was recommended for approval by the Planning Commission on 10/26/82 and received final approval by the City Council on 11/17/82. The existing Conditional Use Permit is still valid.

Sincerely,

A handwritten signature in cursive script, which appears to read "Bennett Boeschenstein".

Bennett Boeschenstein
Director

xc: Neva Lockhart, City Clerk
✓ File #63-82

REVIEW SHEET SUMMARY

FILE NO. 63-82 TITLE HEADING Conditional Use Hotel Restaurant DUE DATE 10/14/82
Liquor License
ACTIVITY - PETITIONER - LOCATION - PHASE - ACRES Petitioner: Walker Field Airport Authority.
Location: Walker Field. A request for a conditional use for a hotel restaurant liquor license
on approximately 1 acre in a Planned Airport Development zone. Consideration of Conditional
Use.

PETITIONER ADDRESS Grand Met Site Services Inc., Rick DeWitt, 3400 S. Elati St. Englewood 80110
ENGINEER _____

<u>DATE REC.</u>	<u>AGENCY</u>	<u>COMMENTS</u>
10/7/82	Trans. Eng.	No comments.
10/8/82	City Fire	This office has no objections to this conditional use as hotel restaurant liquor license. Automatic hood extinguishing system must be provided for kitchen cooking equipment. Must be inspected and approved by Fire Dept. Portable fire extinguisher compatible with automatic hood extinguishing system. Any remodeling must meet Uniform Building and Fire Code.
10/14/82	Planning Staff Comments	Site plan: 1) It would be helpful to designate an area for employee parking specifically for the restaurant. 2) Any external signage should be reviewed by this Department to be in compliance with the sign code. 3) Resolve all other concerns of the review agencies and building department.

11/5/82 GJPC MINUTES OF 10/26/82

MOTION: (COMMISSIONER DUNIVENT) "MR. CHAIRMAN, ON FILE #63-82, CONDITIONAL USE FOR HOTEL RESTAURANT LIQUOR LICENSE, WALKER FIELD AIRPORT AUTHORITY, I MOVE WE FORWARD THIS TO CITY COUNCIL WITH THE RECOMMENDATION OF APPROVAL, BASED ON RESOLVING REVIEW AGENCY COMMENTS."

COMMISSIONER RINKER SECONDED THE MOTION.

CHAIRMAN TRANSMEIER REPEATED THE MOTION, CALLED FOR A VOTE, AND THE MOTION CARRIED UNANIMOUSLY, 5-0. (COMMISSIONER O'DWYER DID NOT VOTE ON THIS ITEM.)

